



Board of Adjustment Staff Report

Meeting Date: February 4, 2021

Agenda Item: 8E

SPECIAL USE PERMIT CASE NUMBER:

WSUP20-0026 (Bowl Incline)

BRIEF SUMMARY OF REQUEST:
recreation services use type.

To approve an outdoor amusement and recreation services use type.

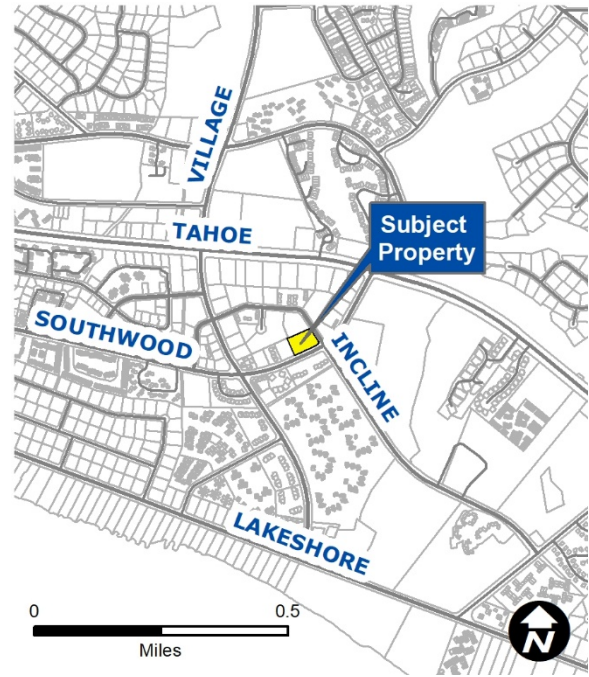
STAFF PLANNER:

Chris Bronczyk, Planner
775.328.3612
cbronczyk@washoecounty.us

CASE DESCRIPTION

For hearing, discussion, and possible action to approve a special use permit for an outdoor amusement use type and to expand an amusements and recreation services use type. These use types require a Special Use Permit per the Incline Village Commercial Community Plan.

Applicant/Property Owner:	Steven and Tracy Tomkovicz
Location:	920 Southwood Boulevard
APN:	132-232-08
Parcel Size:	1.18 Acres
Master Plan:	Commercial (C)
Regulatory Zone:	General Commercial (GC)
Area Plan:	Tahoe
Citizen Advisory Board:	Incline Village/Crystal Bay
Development Code:	Authorized in Article 810, Special Use Permits
Commission District:	1 – Commissioner Hill



STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP20-0026 for Steven and Tracy Tomkovicz, having made all five findings in accordance with Washoe County Code Section 110.810.30:

(Motion with Findings on Page 9)

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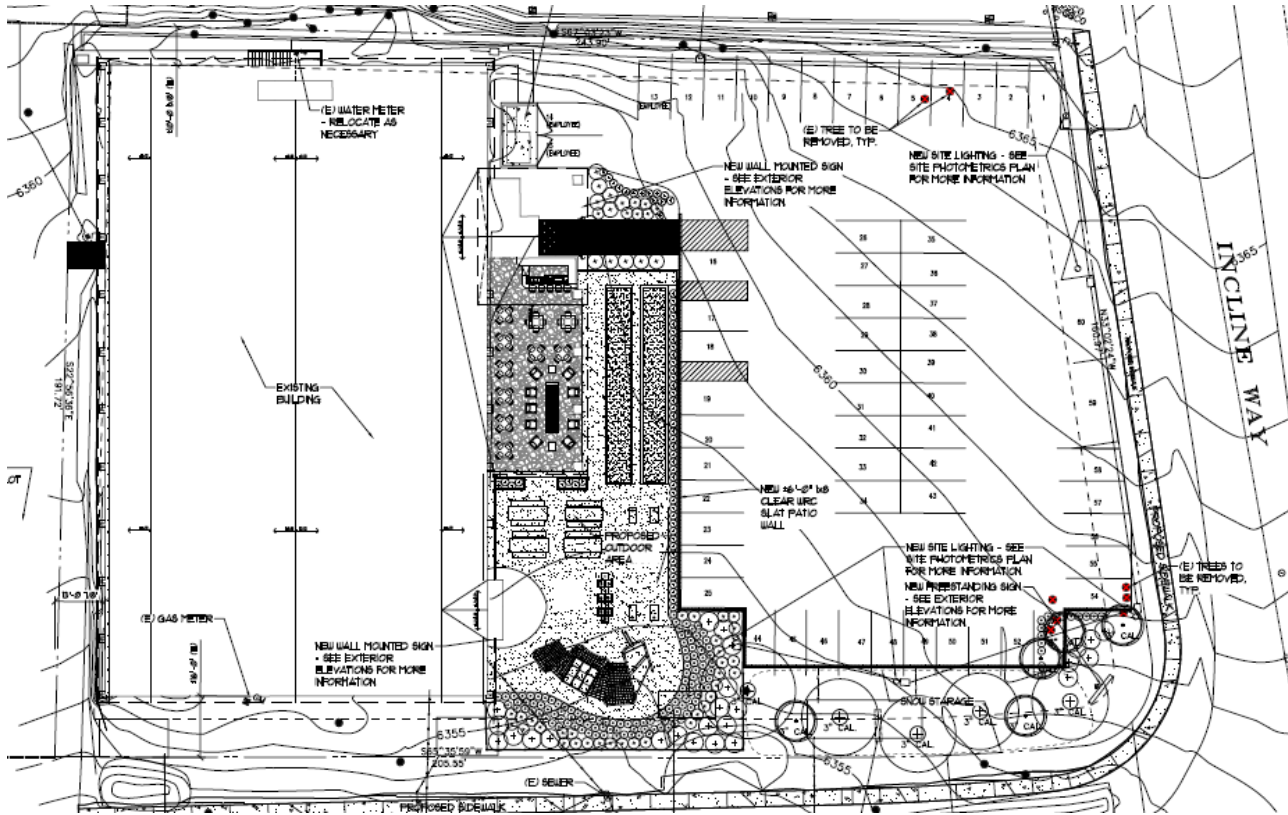
Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as “operational conditions.” These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP20-0026 are attached to this staff report and will be included with the action order.

The subject property is designated as General Commercial. The proposed use of outdoor amusement use type and an amusements and recreation services use type which requires a special use permit per the Incline Village Commercial Community Plan. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Site Plan

Project Evaluation

The proposed project site consists of a developed parcel totaling ±1.18 acres. The existing development was constructed in 1966, and Incline Bowl has held a liquor and business license since July 1, 1988.

The subject properties have a Master Plan Designation of Commercial (C) and a regulatory zone of General Commercial (GC). The subject site is adjacent to other properties with General Commercial regulatory zones to the east, west, and north. To the southeast is Incline Middle School with a regulatory zoning of Public/Semi-Public Facilities (PSP), and to the south are condominiums located within the Light Density Urban (LDU) regulatory zone.

The applicant is proposing to remodel the existing bowling center and to create an outdoor entertainment area. The existing bowling center consists of 16 lanes and includes areas dedicated to billiards, golf simulation, video arcade, and food and beverages. The bowling center is ±16,500 square feet and the proposed expansion of the outdoor use is 5,100 square feet. The outdoor expansion is proposed to include an outdoor bar and outdoor covered lounge area with privacy screening and recreational activities such as bocce ball courts.

The existing bowling center is classified as a legal non-conforming use type; the development pre-dates Washoe County requirements set forth within the Incline Village Commercial Community Plan which was approved in April 1996. Washoe County Code Chapter 110, Article 904, Nonconformance, outlines the regulations associated with nonconforming uses.

Section 110.904.20 Nonconforming Use of Land: The nonconforming use of land shall be subject to the provisions of the section.

(1) Any structure associated with such use shall not be enlarged or increased more than ten (10) percent, nor the use extended to occupy an area of land greater than ten (10) percent than was occupied on the effective date of this article;

The expansion being proposed is $\pm 31\%$; which requires the development to come into legal conformance with the development code and area plans.

The Incline Village Commercial Community Plan, Appendix A, regulates permissible uses; the General List within the Community Plan requires Amusements and Recreation Services use types to go through the Special Use Permit process; additionally, the Community Plan requires Outdoor Amusements to go through the Special Use Permit process.

Amusements and Recreation Services and Outdoor Amusements use types are Entertainment Use Types within the Tahoe Regional Planning Agency (TRPA) Code of Ordinances. The Incline Village Commercial Community Plan utilized TRPA's definitions, which are outlined below.

Amusements and Recreation Services: Establishments providing amusement or entertainment for a fee or admission charge, such as: arcades and coin-operated amusements; billiard and pool halls; **bowling alleys**; card rooms; clubs and ballrooms that are principal uses rather than being subordinate to an eating or drinking place; dance halls; gymnasiums; health and athletic clubs; ice skating and roller skating facilities; indoor sauna, spa, or hot tub facilities; motion picture theaters; reducing salons; and tennis, handball, racquetball, indoor archery and shooting ranges, and other indoor sports activities.

Outdoor Amusements: Commercial establishments for outdoor amusement and entertainment such as: amusement parks; theme and kiddie parks; go cart and miniature auto race tracks; moped, bicycle, and skate rentals; and miniature golf courses. Outside storage or display is included as part of the use.

These two use types most closely resemble Outdoor Sports and Recreation and Indoor Sports and Recreation within the Washoe County Code, both of which are permissible within the General Commercial regulatory zone with the approval of an Administrative Permit. The Incline Village Commercial Community Plan being part of the Area Plan, the applicant must adhere to the requirements set forth within the plan, therefore the applicant has submitted a Special Use Permit to be heard by the Board of Adjustment.

Master Plan Category/Regulatory Zone

The project has a Master Plan category of Commercial (C) with a Regulatory Zone of General Commercial (GC).

Section 110.106.10 Master Plan Categories

- (e) **Commercial:** The Commercial Master Plan category is primarily intended to create and preserve areas for businesses that provide a variety of wholesale and retail goods and services, serve a neighborhood or community market, and which are created in conjunction with residential uses to create a mixed-use community. Commercial uses may include wholesale and retail stores, shopping centers, specialty shops, tourism, gaming, personal services and automobile services, offices, restaurants, theaters and other compatible activities that serve a neighborhood or community area. Strip commercial development is strongly discouraged unless the development is part of a mixed-use area, transit-oriented corridor (or similar district), and designed for pedestrian use. Business parks containing professional, medical, educational, financial and insurance services and supportive commercial activities are also appropriate under this category.

Section 110.106.15 Regulatory Zone

- (r) **General Commercial Regulatory Zone:** The General Commercial (GC) Regulatory Zone is intended to create and preserve areas for businesses that provide a variety of wholesale and retail goods and services and serve a community or regional market. The primary uses may include wholesale and retail stores, shopping centers, specialty shops, personal services, and automobile services. Other uses include offices, restaurants,

theaters, and other compatible activities. Only limited gaming is allowed.

Parking and Screening

Due to the Incline Village Commercial Community Plan determining use types based on TRPA definitions, staff is using the closest Washoe County applicable definition to calculate parking requirements. The use types that most closely resemble TRPA’s definitions within the Washoe County Code are outdoor sports and recreation and indoor sports and recreation.

The proposed development provides 60 total parking spaces which is what the applicants parking study indicates the required demand at peak times will require. Per Interpretation 04-1, due to the expansion not exceeding 50%, the existing parking and landscaping does not need to be brought up to code, the existing 48 spaces will continue to serve the existing bowling center. The additional 12 parking spaces will be required to be meet code. All parking spaces, driveways, and maneuvering areas shall be paved and permanently maintained with asphalt or cement.

WCC Section 110.410.15(c) regulates handicapped parking and refers to WC Table 110.410.15.1, Handicapped Accessible Spaces which requires 3 handicapped accessible spaces (for the range of 51 to 75 required parking spaces) and one of those must be van accessible. Therefore, the project must provide 3 accessible parking spaces with 1 being van accessible.

All business loading/un-loading areas are planned to happen within the parking area but will not receive deliveries during peak business houses. The trash and recycle enclosures will be located in the parking area and will be screened with the appropriate enclosure type and fencing (6 to 7 feet high fencing consisting of chain-link with vinyl slats or concrete block enclosure), per Washoe County Development Code 110.412.40 (d).

Landscaping

A preliminary landscape plan has been provided as part of the application. The landscape plans depict 10,500 square feet of landscaped area with a 6,360 sf of synthetic turf proposed. Per Washoe County Code Section 110.412.40, a minimum of 20% of the total developed land area shall be landscaped and 20% of the 0.647-acre site is 5,636 square feet. Trees are shown clustered along the southern property line, to better screen the site from Southwood Boulevard.

Signage and Lighting

The applicant has proposed a 22-foot-tall Monument style sign to be placed at the southeast corner of the project site. The total square footage of the sign is 138.52 square feet. The proposed signage as submitted are not in compliance with WCC Chapter 110, Article 505, *Sign Regulations*. Article 505 allows a maximum height of 20 feet for free standing signs, and a maximum square footage of 120 square feet. The applicant will be required to submit a sign permit separately for approval and conformance with Washoe County Code. An approval of the submitted Special Use Permit will not extend to an approval of the proposed signage.

All on-site lighting must adhere to Washoe County’s “dark sky” standards, including down shielded lights and not allowing for spillover onto adjoining properties, per the Washoe County Development Code Section 110.414.21.

Tahoe Area Plan Evaluation

The subject parcels are located within the Tahoe Area Plan. The following are the pertinent policies from the Area Plan:

Relevant Area Plan Policies Reviewed

Policy	Brief Policy Description	Complies	Condition of Approval
T 2.3	Encourage landscaping practices which promote minimal water and fertilizer	Yes	NA

	requirements, and which compliment the natural environment.		
T 5.4	Minimize high traffic generating land uses in residential areas and locate them where the traffic circulation system can support the expected traffic.	Yes	NA

Incline Village/Crystal Bay Citizen Advisory Board (IV/CB CAB)

The proposed project was presented by the applicant’s representative at the scheduled Citizen Advisory Board meeting on January 4, 2021. Concerns raised at the meeting included parking demand, noise and hours of operation, and alcohol sales in proximity to Incline Middle School. The applicant provided a response memo which can be found as Exhibit C. The IV/CB CAB recommended unanimous approval of this application. **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation:

Agency	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building and Safety	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Parks and Open Spaces	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sophia Kirschenman – Parks Planner skirschenman@washoecounty.us
Washoe County Water Rights	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Vahid Behmaram – Water Rights Manager vbehmaram@washoecounty.us
Washoe County Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Leo Vesely – Licensed Engineer – lvesely@washoecounty.us
WCHD – Environmental Health	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
WCHD- EMS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe County Sheriff’s Office	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
RTC Washoe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Washoe Storey Conservation District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Jim Shaffer – shafferjam51@gmail.com
Incline Village GID	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
North Lake Tahoe Fire Protection District	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Jennifer Donohue – Fire Marshal – jdonohue@nltfpd.net
Tahoe Regional Planning Agency	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Tahoe Transportation District	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan.

Staff Comment: The proposed use is consistent with the action programs, policies, standards, and maps of the Master Plan and Tahoe Area Plan as conditioned in Exhibit A.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: There are adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities for the proposed use type.

3. Site Suitability. That the site is physically suitable for Amusements and Recreation Services and Outdoor Amusements use types, and for the intensity of such a development.

Staff Comment: The site is physically suitable for the Amusements and Recreation Services and Outdoor Amusements use types as conditioned in Exhibit A.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The issuance of the permit will not significantly be detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area as conditioned in Exhibit A.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: The proposed application will not affect a military installation.

Recommendation

After a thorough analysis and review, Special Use Permit Case Number WSUP20-0026 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP20-0026 for Steven and Tracy Tomkovicz, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a bowling alley with outdoor entertainment, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

- 5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant/Owner: Steven and Tracy Tomkovicz
24367 Deer Valley Lane
Walnut Creek, CA 94598

Architect: Dennis E. Zirbel, Architect
P.O. Box 296
Truckee, CA 96160

Representatives: Ogilvy Consulting
Land Use and Development Strategies
P.O. Box 6315
Tahoe City, CA 96145



Conditions of Approval

Special Use Permit Case Number WSUP20-0026

The project approved under Special Use Permit Case Number WSUP20-0026 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 4, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Chris Bronczyk; 775.328.3612; cbronczyk@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. The business license will be obtained to for the new use.
- f. The signage is not approved as part of this special use permit.
- g. All required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage or fraction thereof.
- h. Amplified music is prohibited past 10:00 PM.
- i. The climbing wall, movie screen, and play structure must close at 10:00 PM.
- j. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. Required loading spaces shall be reduced to the drive aisle, during non-peak operational periods.
 - iv. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - v. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely; 775.328.2041; lvesely@washoecounty.us

1. A complete set of construction improvement drawings, including an on-site grading plan/slope stabilization plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
3. All disturbed areas shall be revegetated. Landscaping plans shall be designed by a licensed landscape architect.

Washoe County Water Resources

3. The following conditions are requirements of the Water Resources Coordinator, which shall be responsible for determining compliance with these conditions.

Contact Name – Vahid Behmaram, vbehmaram@washoecounty.us

1. The applicant shall coordinate with IVGID to determine whether the future water demand of the proposed project is less, equal or more than the existing water service commitments by IVGID for the affected lands. A will serve letter if future water demands are more or a letter acknowledging the sufficiency of existing water commitments to support future developments associated with this project will be required.

Washoe County Health District

4. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name – Wesley Rubio, 775.328.2635, wrubio@washoecounty.us

- a. Any proposed outdoor bar or service area is required to have a full roof structure that extends beyond the bar top or other service area.
- b. Outdoor areas must comply with Health District pet policies, and either have an approved plan, or prohibit all pets from the area.
- c. Any proposed construction is required to be reviewed and approved by the Health District during the permit process.
- d. The facility will be required to meet all current construction and operation requirements for any portions being remodeled or constructed.

*** End of Conditions ***

From: [Popp, Jayleen](#)
To: [Bronczyk, Christopher](#)
Subject: Bowl Incline - Business License Information
Date: Thursday, January 7, 2021 8:32:49 AM
Attachments: [Outlook-r1n2xiar.png](#)
[Outlook-ngn0412i.png](#)
[Outlook-f5pfaggm.png](#)
[Outlook-3f4psli5.png](#)
[Outlook-piguvbch.png](#)

Hey Chris,

Here is the information that you requested.

General Business License:

Date of Application: 07/01/1988

Expiration Date of License: 08/31/2021

Liquor License:

Date of Application: 07/01/1988

Expiration Date of License: 01/01/2021

Let me know if you need any further information.

-Jayleen



Jayleen Popp

Office Support Specialist

Business License Division | Community Services Department

jpopp@washoecounty.us | Office: 775.328.3734

1001 E. Ninth St., Bldg A, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

Email: CSDAllStars@washoecounty.us

MEMORANDUM

TO: Chris Bronczyk, Placer, Washoe County Community Services Department
Via E-Mail cbronczyk@washoecounty.us

FROM: Wyatt Ogilvy, Ogilvy Consulting

DATE: January 11, 2021

**SUBJECT: Bowl Incline - Special Use Permit (WSUP20-0026)
1/4/2021 Incline Village/Crystal Bay Citizen Advisory Board
Public and Board Comment Summary
920 Southwood Boulevard, Incline Village, Nevada
Washoe County APN: 132-232-08**

We are writing to provide a summary of the primary issues raised by the public and members of the Citizen Advisory Board at the public meeting held on January 4, 2021. Following is a summary of the themes of the primary issues raised and responses from the applicant team.

Noise/ Hours of Operation

Comments: Concerns regarding the impact to residential uses in the vicinity by amplified music and other stemming from the proposed outdoor lounge and activity area, focusing on the evening and nighttime periods, were raised by the public and discussed by the Board

Responses: The outdoor lounge area is covered by a roof structure with the intention of limiting noise impacts. The perimeter of the outdoor area is fenced and screened by perimeter landscaping. The closest point of the outdoor activity area to the residential condominium units, across Southwood Boulevard, is a distance of approximately 160 feet. The applicant proposes to not play amplified music, in addition to closing use of the climbing wall and play structure (the elements closes to the residential use) at 10:00 p.m. in order to avoid any potential impacts.

Parking Demand

Comments: Questions were raised regarding the adequacy of proposed parking, the method of parking calculations and the potential need for overflow parking.

Responses: The applicant relied upon a longstanding local firm, LSC Transportation Consultant's, Inc. to analyze and calculate the parking demand for the proposed project and the parking area was designed to meet the projected demand.

Parking Area Grading

Comments: Questions regarding where the grading of the parking area and the relative grade to Southwood Boulevard were raised.

Responses: The majority of grading occurs along the northerly segment of the parcel in order to level the parking area for improved circulation. The lower portion of the parking area is approximately 4.5-feet above the street grade at Southwood Boulevard. It is important to note that the existing exit from the parking area onto Southwood Boulevard is being retired through the proposed design, which is anticipated to reduce impacts on the adjoining residential use to the south.

Proximity to Incline Middle School and Alcohol Sales

Comments: A question regarding the sale of alcohol, with the proximity of Incline Middle School to the site was raised.

Responses: The existing business is considered to be grandfathered based on the original date of the license and that it has been kept current since its issuance. The outdoor lounge area has a complete perimeter fence and the only entrance is from the interior of the bowling alley.

We look forward to working with staff in formulating conditions of approval, where appropriate, to address the concerns of the public and Citizen's Advisory Board. The applicant and our project team were pleased to obtain a unanimous recommendation of approval of the proposed project from the Incline Village/Crystal Bay Citizen Advisory Board.



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: December 29, 2020

To: Chris Bronczyk, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP20-0026 – Incline Bowl**
APN 132-232-08

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is to allow an outdoor amusement use type and an amusements and recreation services use type. The Engineering Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Ogilvy Consulting. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2041

1. A complete set of construction improvement drawings, including an on-site grading plan/slope stabilization plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
3. All disturbed areas shall be revegetated. Landscaping plans shall be designed by a licensed landscape architect.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo Vesely, P.E. (775) 328-2041

1. No comments.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Leo Vesely, P.E. (775) 328-2313

1. No comments.



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

WSUP20-0026
EXHIBIT D



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

December 18, 2020

TO: Chris Bronczyk, Planner, CSD, Planning & Development Division
FROM: Vahid Behmaram, Water Rights & Water Resources Consultant, CSD
SUBJECT: Special Use Permit Case Number WSUP20-0026 (Incline Bowl)

Project description:

The applicant requesting to approve an outdoor amusement use type and an amusements and recreation services use type. The amusements and recreation services is an existing legal non-conforming use type, due to the expansion of the existing commercial facility, a special use permit is required.

Project is located at 920 Southwood Blvd., Incline Village, Assessor's Parcel Number: 132-232-08.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights comments & conditions:

The applicant shall coordinate with IVGID to determine whether the future water demand of the proposed project is less, equal or more than the existing water service commitments by IVGID for the affected lands. A will serve letter if future water demands are more or a letter acknowledging the sufficiency of existing water commitments to support future developments associated with this project will be required.

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

January 11, 2021

Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: Bowl Incline; APN 123-232-8
Special Use Permit; WSUP20-0026

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Division (EHS), which shall be responsible for determining compliance with these conditions.

Contact Name – Wesley Rubio - wrubio@washoecounty.us

- a) EHS has reviewed the above referenced project and has the following comments regarding the proposal:
- a. Any proposed outdoor bar or service area is required to have a full roof structure that extends beyond the bar top or other service area.
 - b. Outdoor areas must comply with the Health District pet policies, and either have an approved plan, or prohibit all pets from the area.
 - c. Any proposed construction is required to be reviewed and approved by the Health District during the permit process.
 - d. The facility will be required to meet all current construction and operation requirements for any portions being remodeled or constructed.

If you have any questions or would like clarification regarding the foregoing, please contact Wesley Rubio, EHS Supervisor at wrubio@washoecounty.us regarding all Health District comments.

Sincerely,



Wesley Rubio, MPH, REHS
EHS Supervisor
Environmental Health
Washoe County Health District



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

December 22, 2020

Washoe County Community Services Department

C/O Chris Bronczyk, Planner

1001 E Ninth Street, Bldg. A

Reno, NV 89512

R: WSUP20- 0026 Incline Bowl

Dear Chris,

In reviewing the special use permit for an outdoor amusement, the Conservation District has the following comments.

If the retaining wall is rockery, the District requires the voids in the face of the wall filled with smaller rock to prevent the undermining of small animals.

With 5 pine trees removed from the site the District supports TRPA, s, requirement of planting 11 new trees.

As a condition of approval if the applicant is making improvements to the exterior of the building the building paint color palette be earth tone colors.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Tyler-Shaffer

From: [Carol King](#)
To: [Bronczyk, Christopher](#)
Subject: Bowl Incline
Date: Wednesday, January 20, 2021 5:29:22 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Dear Board,

I am a senior citizen who loves North Lake Tahoe. We have so many wonderful activities to enjoy that nature has provided but almost none that have been built to provide fun and entertainment outside of nature. I heard that Bowl Incline was sold and that the new owners are planning a great remodel with a new outdoor fun center. Please support their plans and pass a positive outcome so they can invest in the future of our community and create a place that we can all share and love.

Respectfully,
Carol King.

From: [Dan Eckert](#)
To: [Bronczyk, Christopher](#)
Subject: Incline Bowl
Date: Wednesday, January 20, 2021 1:53:32 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Washoe County Board of Adjustments
C/O Washoe County
1001 E. Ninth St., Reno, NV 89512

Re: Bowl Incline Special Use Permit Hearing

Dear Board,

My name is Dan Eckert and I am a resident of Incline Village. I am writing today to express my total support of the plans to expand and remodel Bowl Incline in Incline Village. Our community is growing and our immediate area has a very limited amount of places for family gatherings and entertainment. We are excited that Bowl Incline is 1) remaining a bowling alley 2) being modernized 3) adding an outdoor entertainment center and 4) creating a private room for family gatherings and community celebrations.

Please approve the special use permit for the expansion and support the new owners as they invest in the future of our community.

Sincerely,

Daniel A Eckert
1630 Pinecone Circle
Incline Village, NV. 89451

Sent from my iPhone

From: [Dana Herlihy](#)
To: [Bronczyk, Christopher](#)
Subject: Incline Bowl
Date: Wednesday, January 20, 2021 3:19:03 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Dear Board,

I have bowled and used the facilities at Bowl Incline for years and was recently informed that the new owners are planning a major remodel. Please support them and approve their plans as our community needs a place for us all to gather and enjoy life together.

Sincerely
Dana Herlihy
820 Robin Drive #2
Incline Village, NV 89451

From: [Pat Hall](#)
To: [Bronczyk, Christopher](#)
Subject: Incline bowl remodel
Date: Thursday, January 21, 2021 12:44:01 AM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Hello,

I have bowled on the men's bowling league and used the facilities at Bowl Incline for several years and was recently informed that the new owners are planning a major remodel.

Please support them and approve their plans as our community needs a place for us all to gather and enjoy indoor activities.

Thank you for your consideration,
Pat Hall

PO Box 3972
Incline village NV

Sent from my iPhone

From: [Matthew Hill](#)
To: [Bronczyk, Christopher](#)
Subject: Incline Bowling Center
Date: Thursday, January 21, 2021 12:37:20 PM

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Chris,

This email is in support of the Incline Bowling center approval. The village desperately needs a venue for under 18's to relax with friends. There are currently only two 'venues'; Starbucks and Rayleys. Neither are suitable for groups of teens to hang out. We totally support a family friendly venue like a refurbished Bowling Center. It has sufficient parking and is safely located off the main road.

Please do not hesitate to reach out if you want to discuss this further. We are Year round owner occupier residents.
Kind regards

Matthew Hill
178 Tramway Road
Incline Village
NV 89451
Mob: 415 606 6058

From: [Mountain Gal](#)
To: [Bronczyk, Christopher](#)
Subject: Incline Bowl renovation plans
Date: Saturday, January 2, 2021 8:23:24 AM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Dear Mr. Bronczyk,

I just read the application for the renovation to Incline Bowl. I own and live part-time in the Tahoe Sierra Pines condominiums across the street from this property.

I am concerned about two issues:

1. I am concerned that the noise from the outdoor bar/recreation area will affect the residents' ability to peacefully enjoy their homes in Tahoe Sierra Pines. There does not seem to be anything in the plans to counter the extra noise from the bar and recreation activities, especially in the warmer months. For example, what time will the bar close? We have quiet hours at the condo complex starting at 8 p.m. and don't want to hear the bar after that time.
2. I am concerned that guests of Incline Bowl will want to park in the private parking lot for Tahoe Sierra Pines and take parking spaces from the condominium residents. I see nothing in the plans that will address overflow parking. We already have some issues with people trying to park in our lot and don't want the extra hassle and expense of monitoring this situation.

I would like to know how noise and parking around the area is being addressed. As you can imagine, living next to an outdoor bar has implications for noise and parking issues for folks who just want to live in their homes without these issues.

Thank you and I look forward to hearing back from you about these issues.

Lesley Sheppard

January 1, 2021

Washoe County Community Services Department
Planning & Building Division
1001 E. Ninth Street, Bldg. A
Reno, NV 89512

RE: 920 Southwood Boulevard

Dear Chris Bronczyk,

Thank you for the notice and the online materials regarding the Special Use Permit application for 920 Southwood Boulevard in Incline Village. My wife and I have been long time owners of 911 Southwood Boulevard, across the street from the subject property.

We are pleased to see a proposal for the much needed investment to update and enhance Incline Bowl. These proposed enhancements will likely be very popular and draw significant patronage. However, after reviewing the materials online, I wanted to express a concern. Given the requested sizeable increase in the square footage of the project, and particularly the increase in the lot area coverage and new landscaping removing a significant portion of the existing parking area, I am very concerned that the proposed future parking is insufficient to realistically support the requested changes and increase in facility size.

Legal Parking on Southwood Boulevard and Incline Way is effectively nil, and this newly renovated facility should be expected to fully support the parking requirement from its patrons at peak demand levels. The assumptions used by the Parking Consultant seem arbitrary, unrealistic and engineered to support a desired result.

Among those questionable assumptions are:

- Arguing that the requested addition of 1,372 SF for new lounge space will not increase future people capacity.
- The use of Racquet/Tennis Club parking regulations being applied to a multi-use, much higher probable density occupancy addition of 5,100 SF.
- Very arbitrary assumptions regarding the projected day/night split use of bowling versus outdoor recreation that lessens the assumed parking requirement. As we all know, Summer daylight hours will allow significant simultaneous use of both recreation opportunities at the most congested times in Incline Village.
- In addition, three of the requested proposed 60 parking stalls are not permanently available as they front the dumpster and service area. There are only 57 true parking spaces in this request.
- It also is not clear what was assumed as the sizing of each of the proposed parking spaces. They seem more suited to compact autos than a realistic mix of larger vehicles and trucks.

In summary, we are supportive of the requested updates and enhancements to Incline Bowl **but only with** either a meaningful downsizing of the requested enlargements or a revised much higher parking level that realistically matches future peak parking requirements to the size and full use of the new facility.

Thank you for your efforts in support of our community. Please consider this input as public comments.



Joseph F. Hamilton

From: [Hill, Alexis](#)
To: [Sara Schmitz](#); [S Mueller](#)
Cc: [Sullivan, Mike](#); [Mike Lefrancois](#); [Lyons, Kevin](#); pupfarm1@gmail.com; ddavisCAB@hotmail.com; [Planning Counter](#)
Subject: RE: Bowl Incline outdoor expansion
Date: Wednesday, January 20, 2021 10:47:07 AM

Thank you for your comments. This SUP will go to the Planning Commission only. I've cc'ed : planning@washoecounty.us so they can take note of your comments.

Alexis Hill
She/her/hers
Washoe County Commissioner, District 1

From: Sara Schmitz <schmitz61@gmail.com>
Sent: Wednesday, January 20, 2021 7:53 AM
To: S Mueller <smuellerrocks@gmail.com>; Hill, Alexis <AHill@washoecounty.us>
Cc: Sullivan, Mike <lms919@sbcglobal.net>; Mike Lefrancois <Mike.lefrancois@gmail.com>; Lyons, Kevin <kevin@molocopartners.com>; pupfarm1@gmail.com; ddavisCAB@hotmail.com
Subject: Re: Bowl Incline outdoor expansion

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Ms. Mueller,

Thank you for taking time to write. I will forward your comments to the County personnel responsible for making the decision. We did convey to the County the concern we had related to noise.

Thanks again,

Sara Schmitz

Sent from 925-858-4384

On Jan 20, 2021, at 7:18 AM, S Mueller <smuellerrocks@gmail.com> wrote:

Dear IVCB Board members,

I want to express my deep concern regarding the outdoor expansion

which includes several outdoor recreational activities. I believe that the proposed changes and increased summer use of the outdoor area will greatly interfere with the peaceful use of my condo, which is across the street. We have had issues with tourists, residents, and traffic noise, some which came from the bowling alley, that has been intermittent and tolerable. The proposed outdoor activities will undoubtedly bring more noise to our area.

It was discussed in the meeting that the bowling alley has had a liquor license since 1989, two years prior to falling under this Washoe County ordinance:

30.250 - Location; schools and churches.

1. Except as provided in subsection 2, it is unlawful for an intoxicating liquor licensee to sell, serve, give away, or distribute any intoxicating liquor within 500 feet of any schoolhouse or place wherein a school is conducted or within 500 feet of any church.
2. Subsection 1 does not apply to licensees or places of business selling intoxicating liquor in an approved location prior to July 8, 1991, or to licensees engaged in the business of selling liquors in an approved location which would become a prohibited location by reason of the establishment of a church or public school within 500 feet of such approved location.
3. A licensee or place of business exempt from this section pursuant to subsection 2 which does not hold a valid intoxicating liquor license for 12 consecutive months is no longer exempt and must fully comply with the provisions of this section.
4. The 500-foot limitation as specified in subsection 1 shall be determined by measurement from the nearest corner of the building used for a school or church to the nearest corner of the building wherein liquors are sold.

This new outdoor bar is not only within 500 feet of our middle school, but incorporates play equipment, hopscotch, and other activities designed to attract children.

Steve, the new owner of the bowling alley, mentioned in the meeting that he has had to train staff to handle misbehavior from children caused by lack of supervision by parents. Do we believe that moving clientele outdoors where their voices and activities will carry to residents that his summer clients in the outdoor area will always be well behaved? As residents of Tahoe, we have all had issues with the inconsistencies of tourists and local's behavior. The sound from across the street as leagues have left for home has carried inside our units. I dread the noise and disruption that an outdoor clientele will cause and the impact it will have on the value of my condo and anticipate calls to the sheriff for assistance. The proposed hours of operations which include opening of a café for breakfast to midnight will hugely impact our residential units.

As a long time resident in Incline, I remember when the Ponderosa Ranch was open. The location just outside of town meant that traffic and noise was not an issue. The new owners of Bowl Incline are proposing to have an attraction in a residential area next to a school. This is not wise or equitable. Please do not approve the outdoor expansion and use.

Regards,

Shirley Mueller
929 Southwood Unit 24

From: [Adam Paul](#)
To: [Bronczyk, Christopher](#)
Subject: Bowl Incline re-model
Date: Tuesday, January 19, 2021 4:49:54 PM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Dear Board,

I have bowled and used the facilities at Bowl Incline for years and was recently informed that the new owners are planning a major remodel. Please support them and approve their plans as our community needs a place for us all to gather and enjoy life together.

Sincerely,
Adam Paul

Tahoma, Ca

Sent from my iPhone

December 8, 2020

Planning & Building Division
Washoe County
1001 E. Ninth Street
Reno, NV 89512

**Subject: 920 Southwood Blvd, LLC ("Bowl Incline")
Proposed Special Use Permit
920 Southwood Boulevard, Incline Village, Nevada
Washoe County APN: 132-232-08**

To Whom It May Concern:

Based on our recent predevelopment meeting with Chris Bronczyk and Dan Cahalane in Planning, we are submitting this Special Use Permit application to establish an Outdoor Amusements use in association with the existing Bowl Incline (Amusements and Recreations Services) commercial facility at the property. We are submitting this Special Use Permit application for your review and processing towards the anticipated Citizen's Advisory Board meeting and subsequent Board of Adjustments hearing.

Included with this submittal, please find the following required application item and supporting documents:

- Washoe County Predevelopment Worksheet
- Check in the amount of \$3,440.80 for application fees (Tahoe Minor Commercial) and Signed Washoe County Development Application Form (delivered separately via courier)
- Proof of Property Tax Payment
- Proposed Architectural Plan Set (Dennis E. Zirbel, Architect), including planting, lighting and elevations
- Parking Demand Study (LSC Transportation Consultants, Inc., dated 12/3/2020)
- Project Description Document
- Current Grant Deed

920 Southwood Blvd, LLC proposes to renovate the existing Bowl Incline facility in conjunction with creating a new outdoor lounge and use area to encourage year-round use and increased vitality for this existing commercial business and the Incline Village community. The property is located in the Incline Village Community Plan, jointly adopted by the Tahoe Regional Planning Agency and Washoe

County, where a various commercial uses are permissible. The proposed renovation project for Bowl Incline includes "Amusements and Receptions Services" and "Outdoor Amusements" use types; both use types are considered Special Uses under the Community Plan.

Should you have any questions or require additional information, please do not hesitate to contact our office. Your efforts in the processing of this application are greatly appreciated.

Sincerely,



W. Wyatt Ogilvy

WYO: Attachments

cc: Dennis E. Zirbel

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: 920 Southwood Blvd LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, TRACY M. TOMKOVICZ
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 132-232-08

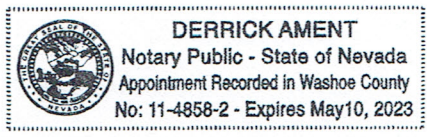
Printed Name TRACY M. TOMKOVICZ
Signed [Signature]
Address 985 FAIRWAY BLVD
INCLINE VILLAGE, NV 89451

Subscribed and sworn to before me this
2 day of December, 2020.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: May 10, 2023



*Owner refers to the following: (Please mark appropriate box.)

- Owner
 Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
 Power of Attorney (Provide copy of Power of Attorney.)
 Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 Property Agent (Provide copy of record document indicating authority to sign.)
 Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

--

10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
-----	----	----------------------------------------------

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

--

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

--

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
-----	----	-------------------------------

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 13223208
 AIN:

Balance Good Through:	12/02/2020
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO



920 SOUTHWOOD BLVD LLC
 985 FAIRWAY BLVD 4336
 INCLINE VILLAGE NV 89451

Description:

Situs: 920 SOUTHWOOD BLVD
 INCLINE VILLAGE

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
13223208	2020	2020461241	1	08/17/2020	1,817.75	0.00	0.00	1,817.75	0.00
13223208	2020		2	10/05/2020	1,817.61	0.00	0.00	1,817.61	0.00
13223208	2020		3	01/04/2021	1,817.61	0.00	0.00	1,817.61	0.00
13223208	2020		4	03/01/2021	1,817.61	0.00	0.00	1,817.61	0.00
Current Year Totals					7,270.58	0.00	0.00	7,270.58	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

**920 SOUTHWOOD BLVD, LLC ("BOWL INCLINE")
PROPOSED SPECIAL USE PERMIT
920 SOUTHWOOD BOULEVARD, INCLINE VILLAGE, NEVADA
WASHOE COUNTY APN: 132-232-08**

PROJECT DESCRIPTION

Summary of Request: 920 Southwood Blvd, LLC proposes to renovate the existing Bowl Incline facility in conjunction with creating a new outdoor lounge and use area to encourage year-round use and increased vitality for this existing commercial business and the Incline Village community. The property is located in the Incline Village Community Plan, jointly adopted by the Tahoe Regional Planning Agency and Washoe County, where a various commercial uses are permissible. The proposed renovation project for Bowl Incline includes "Amusements and Recreations Services" and "Outdoor Amusements" use types; both use types are considered Special Uses under the Community Plan.

Existing Site Conditions: The subject parcel is located at the corner of Incline Way and Southwood Boulevard in the community of Incline Village. According to Washoe County Assessor's records, the existing 16,500 square foot "Bowling Center" was originally constructed in 1966. The 16-lane bowling center includes areas dedicated to billiards, golf simulation, video arcade and food and beverage within the building.

Surrounding Land Uses: The properties in the vicinity are a mix of commercial uses, multi-family residential and the Incline Middle School. The directly adjoining land uses on the two sides of the property are commercial. The property is accessed by an asphalt driveway from SR-28/North Lake Boulevard.

Parcel Zoning and Land Use/ Tahoe Basin Area Plan: The subject parcel is located within the Incline Village Commercial Community Plan, adopted in 1996. In the draft documents for the Washoe County Area Plan, which has been presented to TRPA yet not adopted, no significant zoning changes are proposed that would affect the permissible uses at the property. "Amusements and Recreations Services" and "Outdoor Amusements" use types are considered Special Uses under the Community Plan.

Project Description: The project proposes to renovate and reconfigure the existing Bowl Incline facility, inclusive of the addition of a new outdoor lounge and activity area to improve the year-round vitality of the business. The existing upstairs office space is proposed to be converted a second lounge area and a new entry enclosure is added to the front of the building with bike parking provided at the entry. Along the exterior frontage of the building a new outdoor covered lounge and activity area with perimeter landscaping is proposed. The outdoor area totals approximately 5,100 square feet of space that is considered an "Outdoor Sports and Recreation" use under the TRPA Code. It is forecasted that the additional

lounge and outdoor activity area will generate up to three (3) additional employees from baseline conditions, which are accounted for in the parking demand analysis.

Along with the building renovation the parking area is to be reconfigured, new landscaping incorporated, new signage installed and water quality improvements (BMP's) implemented across the site.

Parking: A Parking Demand Study for the proposed project, dated December 3, 2020, was completed by LSC Transportation Consultants, Inc. LSC evaluated the proposed uses with the Institute of Transportation Engineer's *Trip Generation Manual* (10th Edition, 2020) and *Parking Generation Manual* (5th Edition, 2019). Peak parking demand was analyzed for the two primary use types concluding that the parking demand for the "proposed renovations to the existing building and outdoor recreation area is 60 spaces." A full copy of the report including the Shared Parking Analysis is included with this application.

The existing parking lot is proposed to be reconfigured for more efficient yield and circulation, with the required 60 parking stalls in accordance with the LSC Study attained. Three (3) of the parking stalls are dedicated to employee parking, as they front the dumpster and service area; these stalls will only be utilized at peak demand periods, when use of the dumpsters is not anticipated.

Landscaping: A Planting Plan was prepared by Design Workshop to screen the periphery of the outdoor activity area, as well as the parking lot as viewed from Southwood Boulevard. The plan uses native or adapted species to reduce maintenance and watering requirements. Aumr Maples and Quaking Aspen are specified at the edge of the parking area, with a total of eleven (11) new trees to be planted. A combination of shrubs, perennials and native grasses are utilized in the planting plan. Proposed quantities are listed in a table on the planting plan.

Lighting: All proposed exterior lighting will be shrouded and downlit in accordance with TRPA and Washoe County standards.

Signage: A new freestanding sign is proposed, with the conceptual graphic included within this submittal package.

Other Regulatory Approvals: The proposed project will require Tahoe Regional Planning Agency (TRPA) approval. Based on the use types of "Amusements and Recreations Services" and "Outdoor Amusements" use types, both considered Special Uses under the Incline Village Community Plan, it is anticipated that a Hearings Officer level of review will be required by TRPA.



LSC TRANSPORTATION CONSULTANTS, INC.

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Tahoe City, CA 96145
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FAX (530) 583-5966
Email: lsc@lsc Tahoe.com
Website: www.lsc trans.com

December 3, 2020

Dennis E. Zirbel, Architect
10056 Spring Street
P.O. Box 296
Truckee Ca, 96161

RE: Bowl Incline Parking Demand Study

Dear Mr. Zirbel:

Per your request, LSC Transportation Consultants, Inc. has conducted a parking demand analysis for modifications to the Bowl Incline facility located on Southwood Boulevard in Incline Village, Nevada. The project aims to renovate the existing 17,751 square foot bowling alley, adding 1,372 square feet of indoor space within the existing building for lounge space and entry way and to create an additional 5,100 square feet of outdoor entertainment area. While Washoe County parking codes define the parking requirements for indoor recreation, the proposed outdoor component requires a project-specific parking demand study.

Washoe County Development Standards

Per the Washoe County Development Code (Oct 23, 2020), Interpretation 04-1:

“When a commercial development that does not comply with current development standards (nonconforming development) is enlarged by less than fifty (50) percent, or if one allowed use is substituted for another and the structure(s) within the development are not enlarged, the applicant shall demonstrate that current standards, regarding the number of parking spaces for the new or expanded use are complied with. Any new parking spaces or loading areas required shall comply with all current standards, pursuant to Article 410.”

As the increase in the proposed project size is 37 percent of the existing bowling alley’s floor area, and is not greater than 50 percent, the existing 48 parking spaces can be considered to serve the existing bowling alley. The new outdoor entertainment area would require additional parking spaces to meet Washoe County Code.

Parking Demand of Proposed Project Use

The proposed renovations of the Bowl Incline alley included converting the existing 2nd floor office space to a new bar lounge area, as well expanding the entrance hall. The Institute of Transportation Engineer's *Trip Generation Manual* (10th Editions, 2020) and *Parking Generation Manual* (5th Edition, 2019) include Bowling Alley as a land use (ITE Code: 437). A description of the land use states:

A bowling alley is a recreational facility that includes bowling lanes. A small lounge, restaurant and/or snack bar, video games, and pool tables may also be available.

Since the new lounge is considered an accessory use, and the existing bowling alley already has a bar area, no additional parking spaces are expected to be generated by customers to the expanded lounge area. Though new customers are not expected as a direct result of this conversion, the new space could result in increased number of employees. As a result, additional parking spaces is allotted for the change in employees. See attached Table A.

The 5,100 square foot outdoor recreational area is a combination of a covered bar and lounge area, two bocce ball/ice shuffleboard courts, and playground area. As this combined outdoor space does not have standard parking rate, the ITE land use of Racquet/Tennis Club (ITE code 491) was selected as it has close similarities and a potential land use alternative recommended by Washoe County. This outdoor space will require additional employees; two additional parking spaces are allotted for this use.

Since some of those persons using the new outdoor recreation area will likely be bowling patrons, a 25% internal/captive market reduction was taken for this land use. As a result, a combine 72 parking spaces are need to meet peak demands of each of the induvial land uses at their peak times, as shown in Table A. However, since the different land uses peak at different times a shared parking analysis is performed.

Shared Parking

As outdoor recreation has the greatest use during the day while indoor bowling activity is greatest in the evening, the potential of shared parking between the outdoor recreation area and bowling alley uses exist. An analysis of parking needs for each hour of the day was therefore conducted. Based on the hourly percentages found in the *ITE Parking Generation Manual*, the proportion of parking demand for hour of each individual land use is calculated and summed. The percentages presented in the *Parking Generation Manual* were adjusted based on hours of operation and user logs supplied by Bowl Incline. These adjustments did not reduce any of the Manual's factors but added parking demand to earlier in the day as shown to occur based on Bowl Inclines records. These proportions are shown in the lower portion of Table B.

The peak period of parking demand is found to occur at 8 PM (when all bowling guest are assumed to be onsite, along with 41% of the outdoor recreation area in use), at 60 parking spaces.

Conclusion

The parking demand of the Bowl Incline including the proposed renovations to the existing building and outdoor recreation area is 60 spaces. This is based on the original parking spaces associated the current bowling alley plus the additional spaces needed for additional employee of the renovated space and new outdoor recreational space.



Please contact Bill Suen, Engineer with any questions regarding this analysis, at 510-673-3043, bill@lsctahoe.com

Respectfully Submitted,

LSC TRANSPORTATION CONSULTANTS, INC.

BY: 

Gordon R. Shaw, PE, AICP
Project Manager

Table A: Bowl Incline Peak Parking Demand

Description	Quantity	Units	Land Use Category	Parking Rate ¹	Required Parking Spaces for Individual Use	Internal/Captive Market Reduction	Parking Required with Non-Auto and Captive Market Reductions
Existing Landuse to the Converted							
Bowl Incline			Existing Parking Spaces		48	0%	48
Additional Indoor Lounge Employees	1	Employees		1 per Peak Employee	1	0%	1
Proposed Project							
Outdoor Recreation	5.1	KSF	Racquet/Tennis Club	5.49 per KSF	28	25%	21
Additional Outdoor Lounge Employees	2	Employees	(Land Use 491)	1 per Peak Employee	2	0%	2
Total					76		72

NOTE: KSF = 1,000 square feet

Note 1: Parking Requirements from ITE Parking Generation Manual, 5th Edition

LSC Transportation Consultants, Inc.

TABLE B: Bowl Incline Shared Parking Analysis

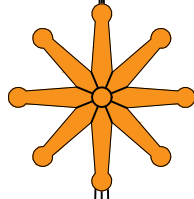
Description	Total Required Parking for Individual Land Use															Parking Demand During Peak Period
		11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM	12:00 AM	
Existing Bowling Alley	48	10.0	9.6	21.6	36.0	9.6	4.8	21.6	41.8	47.5	48.0	48.0	48.0	9.6	2.4	48
Outdoor Use Area	21	14.0	14.7	18.1	19.7	21.0	21.0	18.7	13.7	8.6	8.6	4.2	2.1	0.0	0.0	9
Additional Lounge Employees	3	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	1.0	1.0	3
TOTAL PROPOSED PROJECT	69	27	28	43	59	34	29	44	59	60	60	56	54	11	4	60

Shared Parking Factors -- Percent of Peak Parking Demand by Hour															
Land Use	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM	12:00 AM	
Bowling ¹	20%	20%	45%	75%	20%	10%	45%	87%	99%	100%	100%	100%	20%	5%	
Outdoor Use Area ²	64%	70%	86%	94%	100%	100%	89%	65%	41%	41%	20%	10%	0%	0%	

Note 1: Source - ITE Parking Generation, 5th Edition, 2019. Adjusted for hours of operation and Bowl Incline Use logs.

Note 2: Source - ITE Parking Generation, 5th Edition, 2019, for Racquet/Tennis Club (Land Use 491)

Source: LSC Transportation Consultants, Inc.



B **O** **W** **L**

INCLINE

Bocce Ball

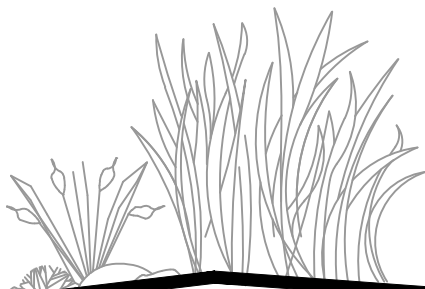
Outdoor Movies

Billiards / Arcade

Cocktail Lounge

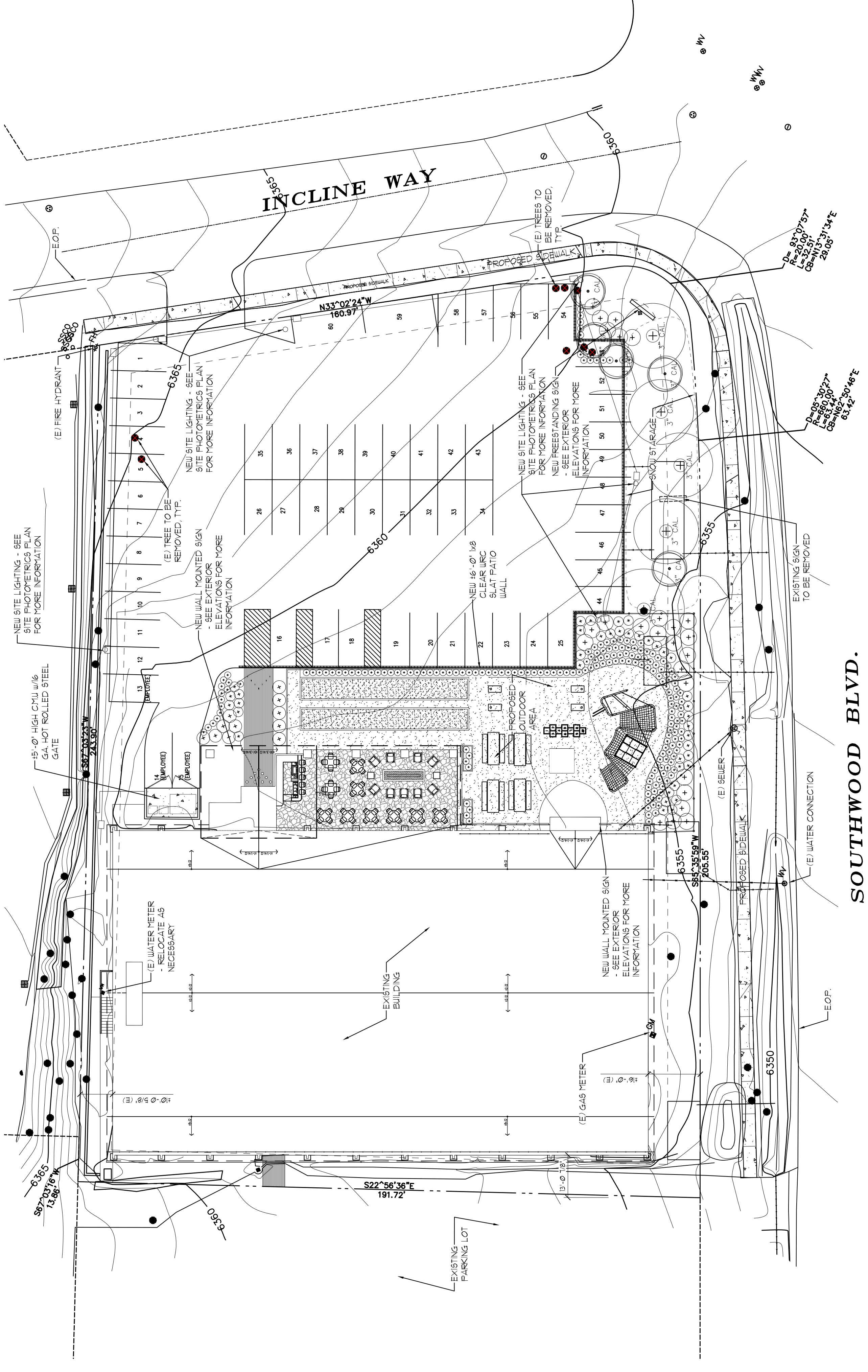
Outdoor Dining

Outdoor Activities



NOTES:

- THERE ARE NO POTENTIAL HAZARDS.
- THERE ARE NO ACTIVE FAULT ZONES.
- THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
- THERE ARE NO SIGNIFICANT HYDROLOGICAL RESOURCES.
- THERE ARE NO FLOOD HAZARDS.
- AN APPROVED BACKFLOW PREVENTION DEVICE SHALL BE REQUIRED ON ALL LANDSCAPE IRRIGATION SYSTEMS.
- SEE FLOOR PLANS, CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFO.



ARCHITECTURAL SITE PLAN

REVISIONS	DATE	BY

**BOWL INCLINE
RENOVATION/REMODEL**
920 Southwood Boulevard
Incline Village
Washoe County, Nevada

**DENNIS E. ZIRBEL
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DRAWN:	DE/TTM	SHEET	A-1
DATE:	12/8/2020		
SCALE:	1"=20'-0"		
JOB NO.:	2017		

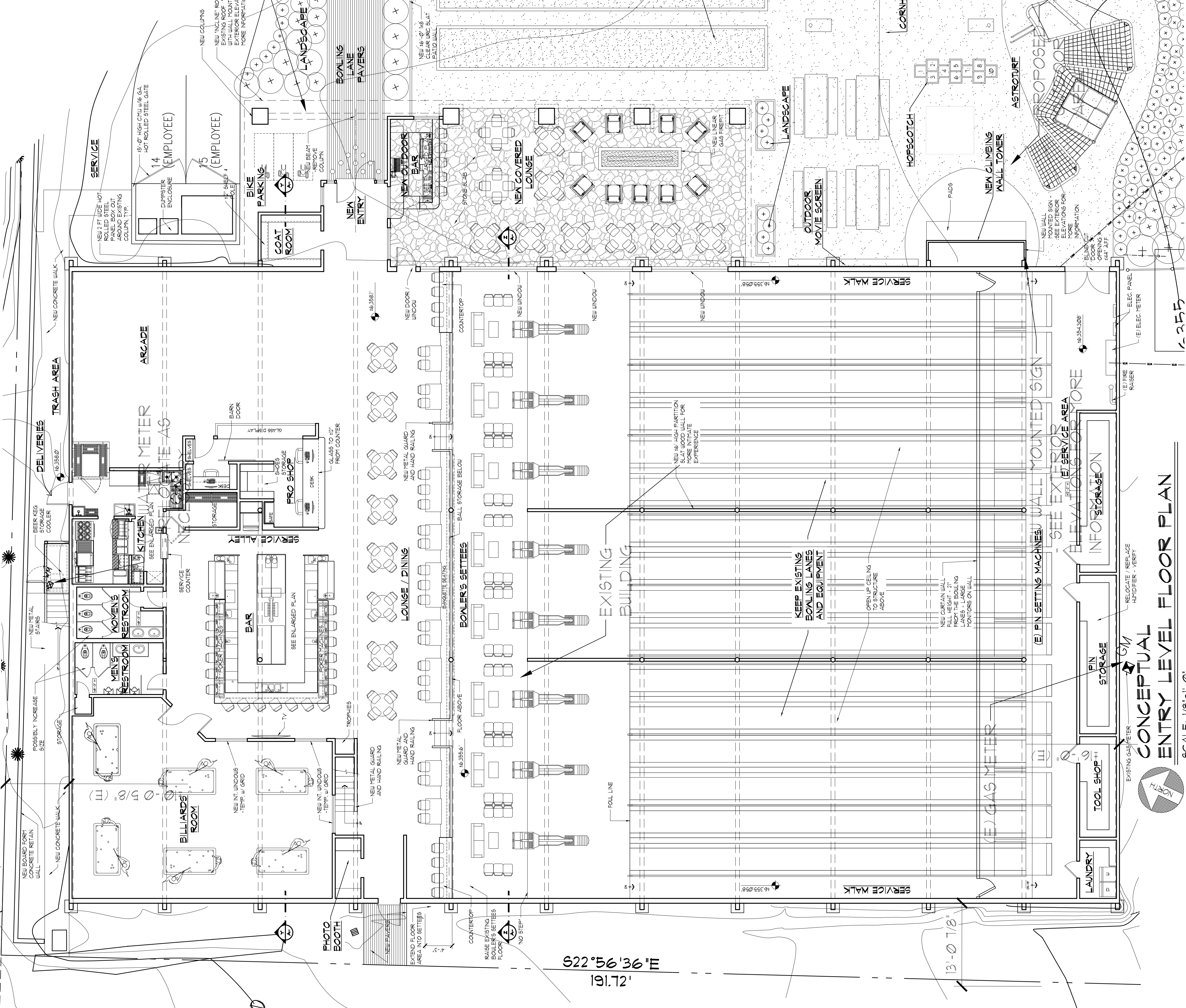
ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"



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FLOOR AREA CALCULATION

EXISTING CONDITIONED AREA	
ENTRY LEVEL	±16,500 SQ. FT.
UPPER LEVEL	±1,251 SQ. FT.
TOTAL EXISTING FLOOR AREA	±17,751 SQ. FT.
PROPOSED CONDITIONED AREA	
ENTRY LEVEL	±16,695 SQ. FT.
UPPER LEVEL	±2,428 SQ. FT.
TOTAL PROPOSED FLOOR AREA	±19,123 SQ. FT.
TOTAL PROPOSED OUTDOOR AREA	
	±15,100 SQ. FT.



CONCEPTUAL ENTRY LEVEL FLOOR PLAN

REVISIONS	

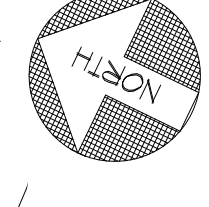
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 Incline Village
 Washoe County, Nevada

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DRAWN: DE	SHEET
DATE: 12/8/2010	A-2
SCALE: 1/8" = 1'-0"	JOB NO.:
	2011

CONCEPTUAL ENTRY LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



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CONCEPTUAL UPPER
LEVEL FLOOR PLAN

REVISIONS

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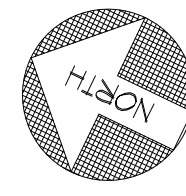
920 Southwood Boulevard
Incline Village
Washoe County, Nevada

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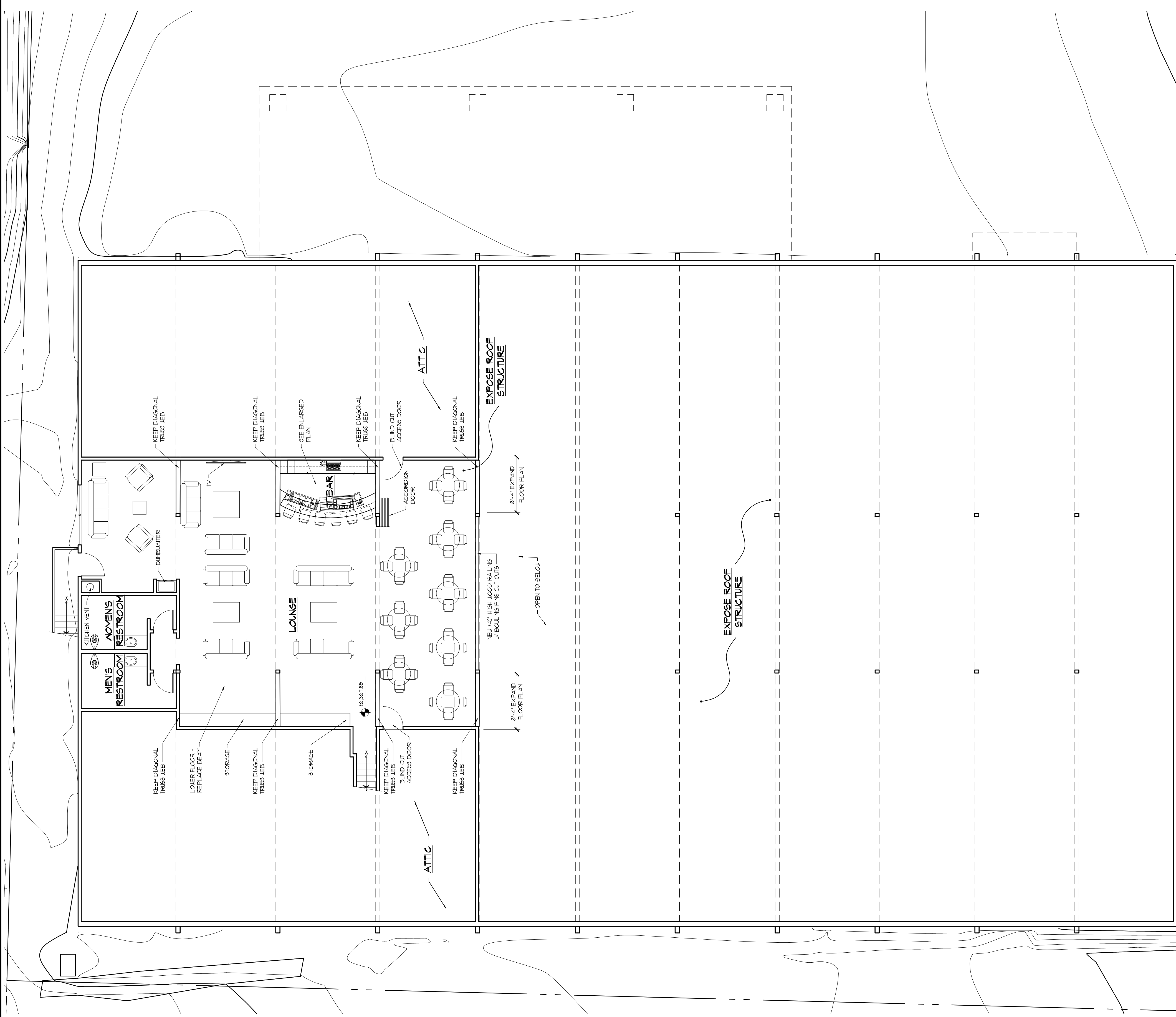
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DATE: 12/8/2010
SCALE: 1/8" = 1'-0"
JOB NO.: 2011

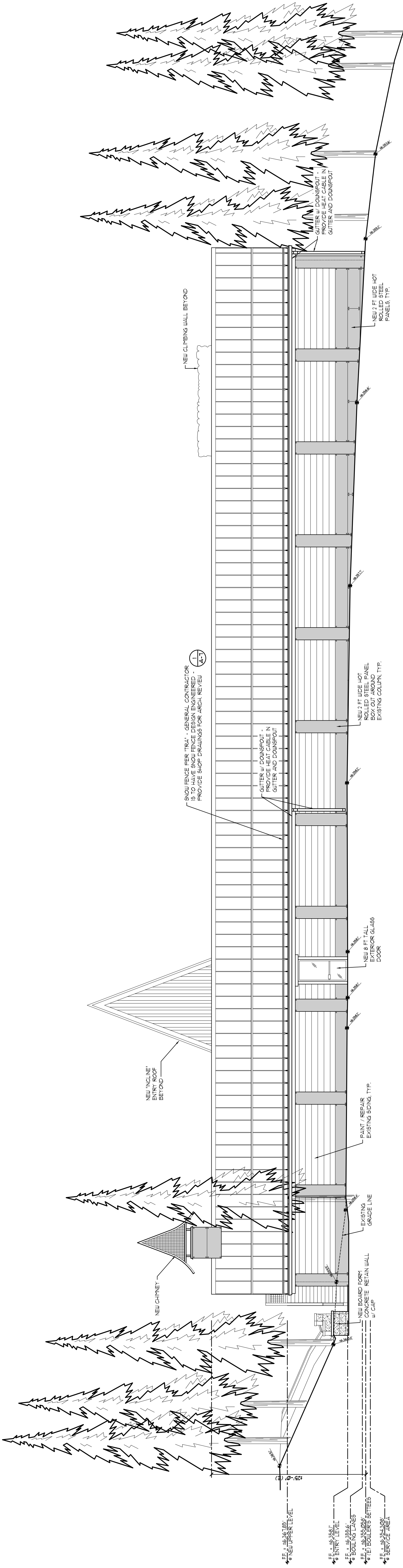
**CONCEPTUAL
UPPER LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"



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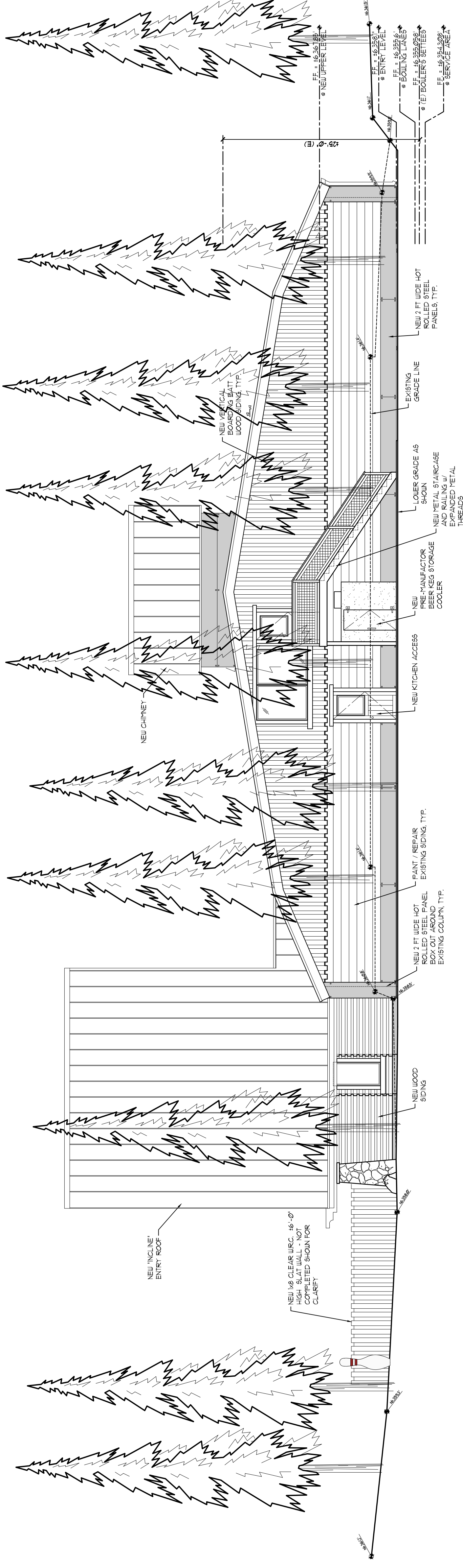


WSUP10-020



WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

CONCEPTUAL EXTERIOR ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION

BOWL INCLINE RENOVATION/REMODEL

920 Southwood Boulevard
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Washoe County, Nevada

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DRAWN:	TM	SHEET	
DATE:	12/8/2020		
SCALE:	1/8"=1'-0"		
JOB NO.:	2017		

SHEET NOTES:

INCLINE WAY

ELECTRICAL SITE PLAN

REVISIONS

BOWL INCLINE
RENOVATION/REMODEL

920 Southwood Boulevard
Incline Village
Washoe County, Nevada

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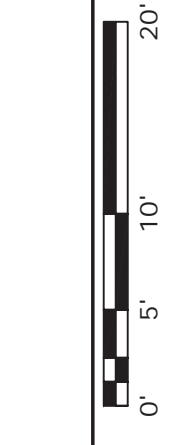
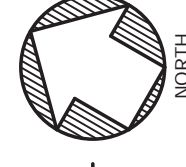
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DATE: TBD
SCALE: AS SHOWN
JOB No.: 2011

SHEET
E1.1

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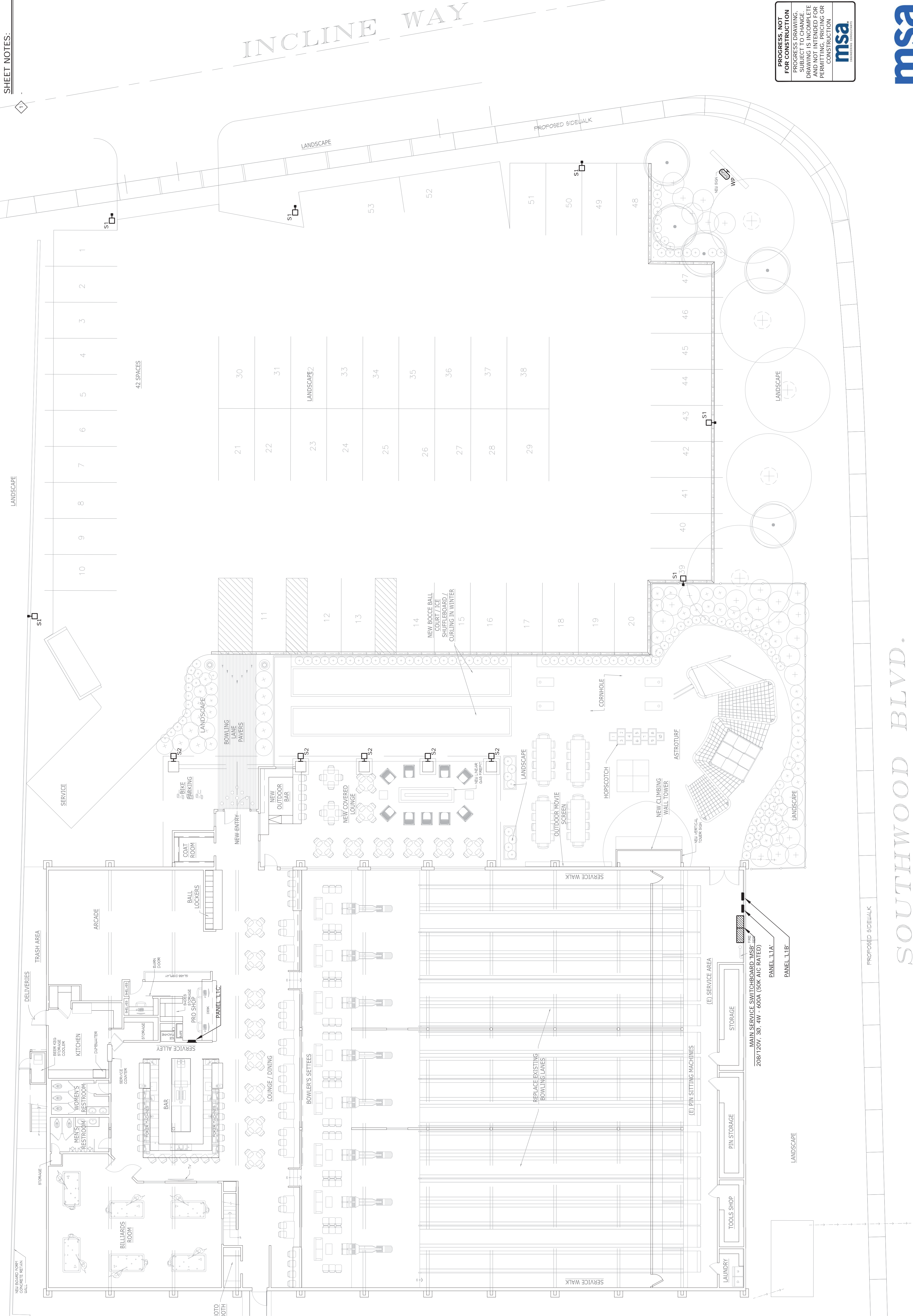


msa
ENGINEERING CONSULTANTS
909
Reno, NV 89502
775.828.4889
msa-nv.com



A ELECTRICAL SITE PLAN
E1.1 1" = 10'-0"

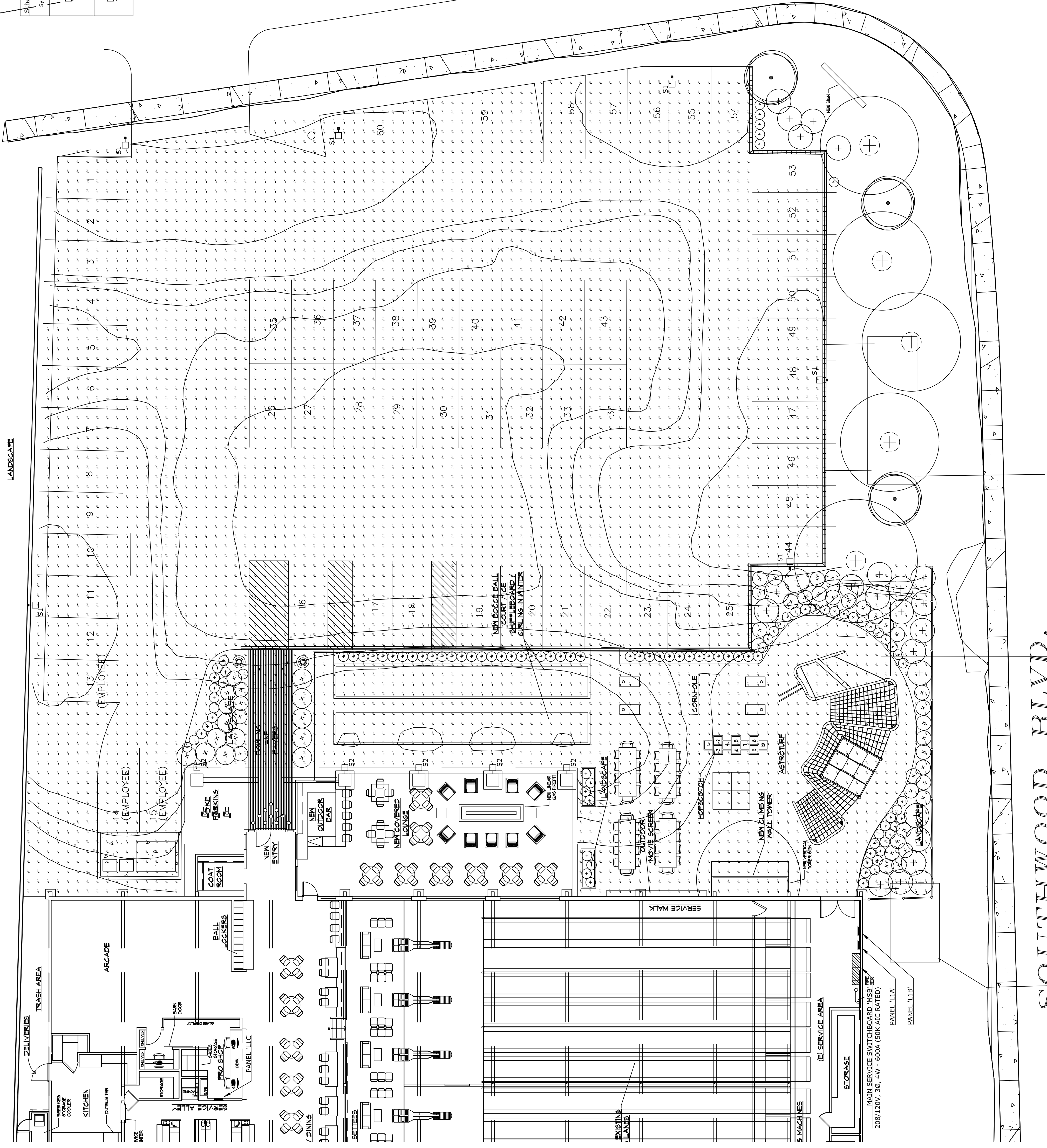
SOUTHWOOD BLVD.



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Multiple	LF	Wattage	Efficiency
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S2		5	Stemberg Lighting	0630LED-180x0414-4-RECP-C414S	0630LED Small Pine Series, Clear Rectangular Acrylic, Type 4	26 LEDs	1	0630LED-180x0414-4-RECP-C414S	1	31.5	100%	

STATISTICS	
Description	Symbol
Avg	Max
Min	Max/Min
Avg/Min	Max/Min
Calc Zone #1	2.0, 6.1, 18.7, 61.0, 0.0, 0.0
	N/A
	N/A

INCLINE WAY



SITE PHOTOMETRICS

REVISIONS	
No.	Description

BOWL INCLINE
 RENOVATION/REMODEL
 920 Southwood Boulevard
 Incline Village
 Washoe County, Nevada

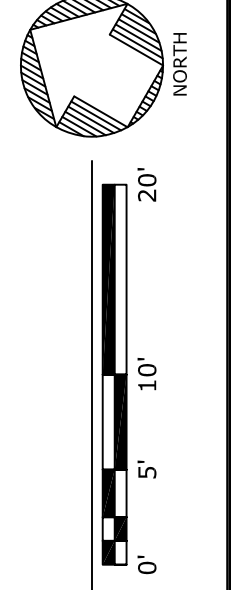
DENNIS E. ZIRBEL
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 Reno, NV 89512
 775.828.4889
 msa-ec.com

DRAWN: MSA
 DATE: 12/8/2020
 SCALE: AS SHOWN
 SHEET: E1.IPH
 JOB No.: 2017



A SITE PHOTOMETRICS
 E1.IPH 1" = 10'-0"

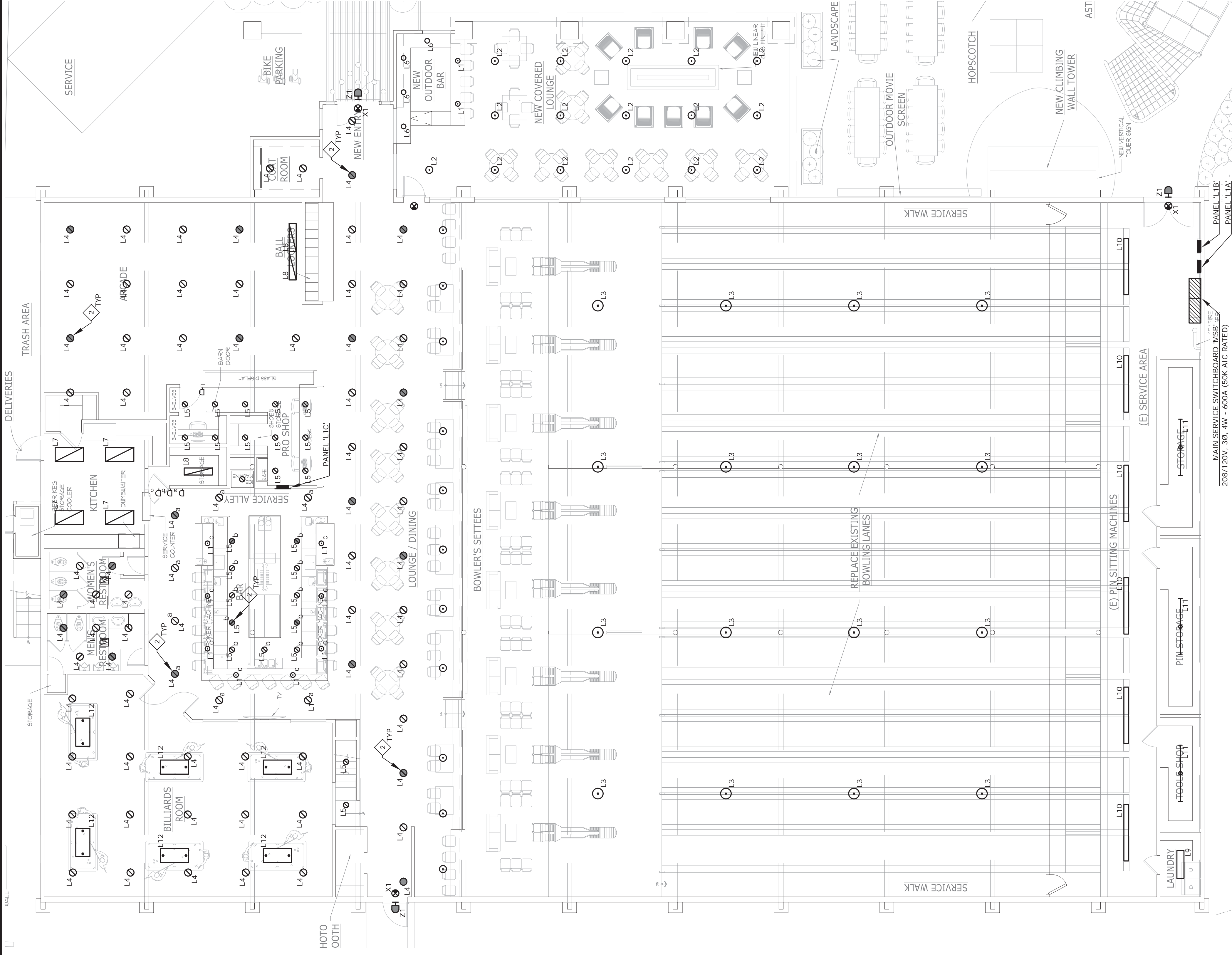
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GENERAL NOTES:

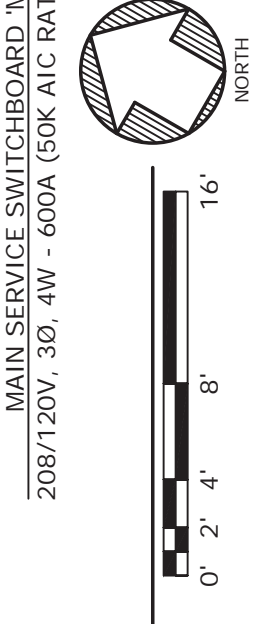
1.

SHEET NOTES:

- ◇ EXTEND AND CONNECT CIRCUITING FROM JUNCTION BOX TO OUTLETS IN AREA WITH SAME CIRCUIT NUMBERS, ROUTE #12 CONDUCTORS (MINIMUM) THROUGHOUT, UON.
- ◇ PROVIDE FIXTURE WITH INTEGRAL REMOTE BATTERY PACK FOR APPROXIMATELY 1/2 LUMENS FOR 90 MINUTE OPERATION DURING POWER LOSS. INCLUDE REMOTE TEST BUTTON AND CHARGE INDICATOR LED RED LIGHT.



A FIRST FLOOR PLAN - LIGHTING
E3.1 1/8" = 1'-0"



MAIN SERVICE SWITCHBOARD, MSB, 208/120V, 3Ø, 4W - 600A (50K AIC RATED)

FIRST FLOOR PLAN - LIGHTING

REVISIONS	DATE	BY

BOWL INCLINE
RENOVATION/REMODEL

920 Southwood Boulevard
Incline Village
Washoe County, Nevada

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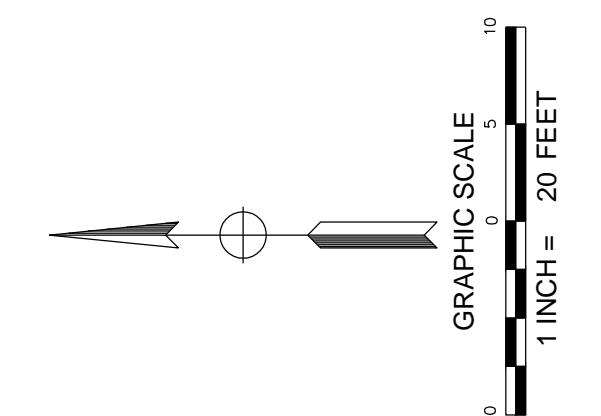
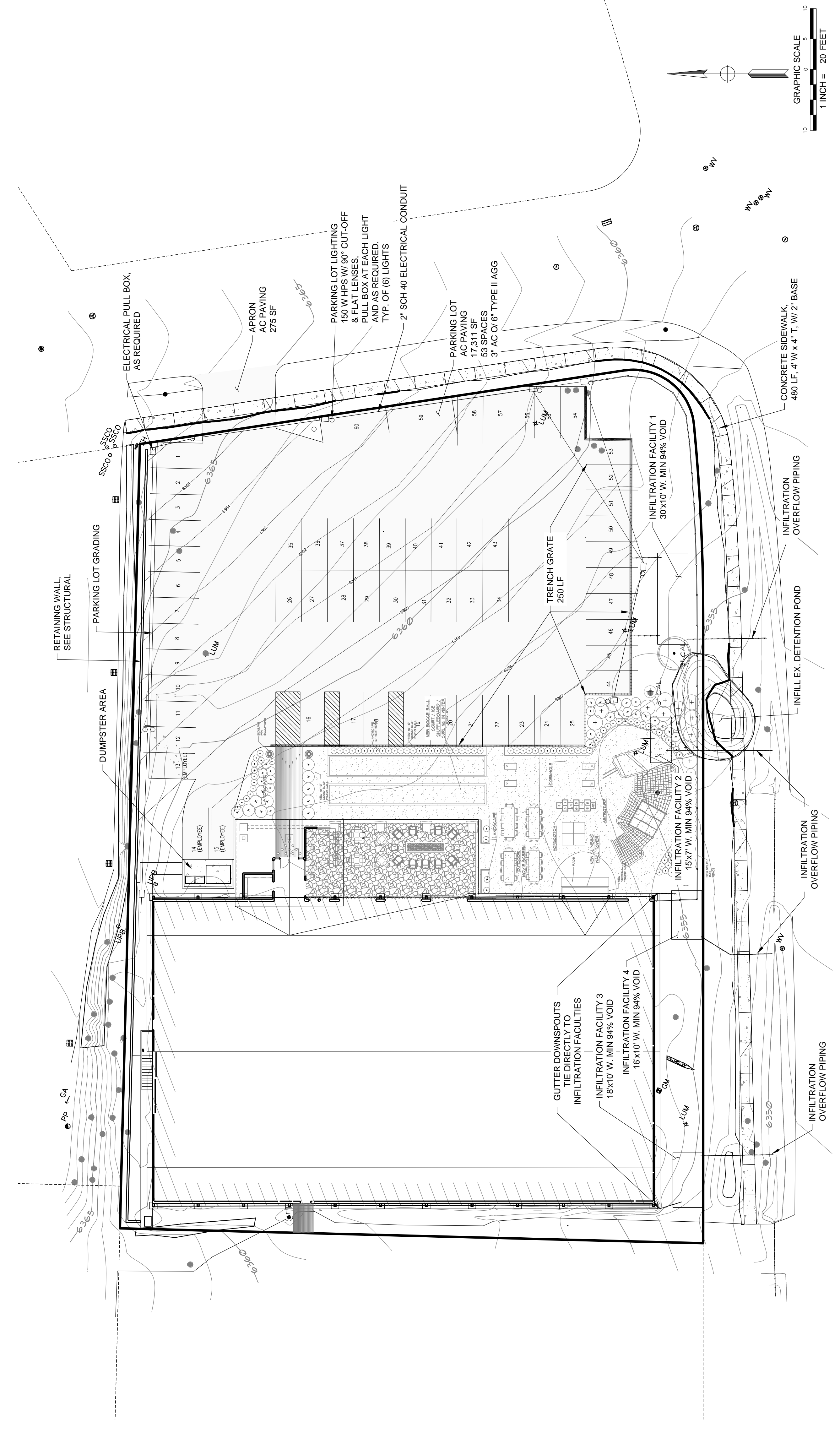
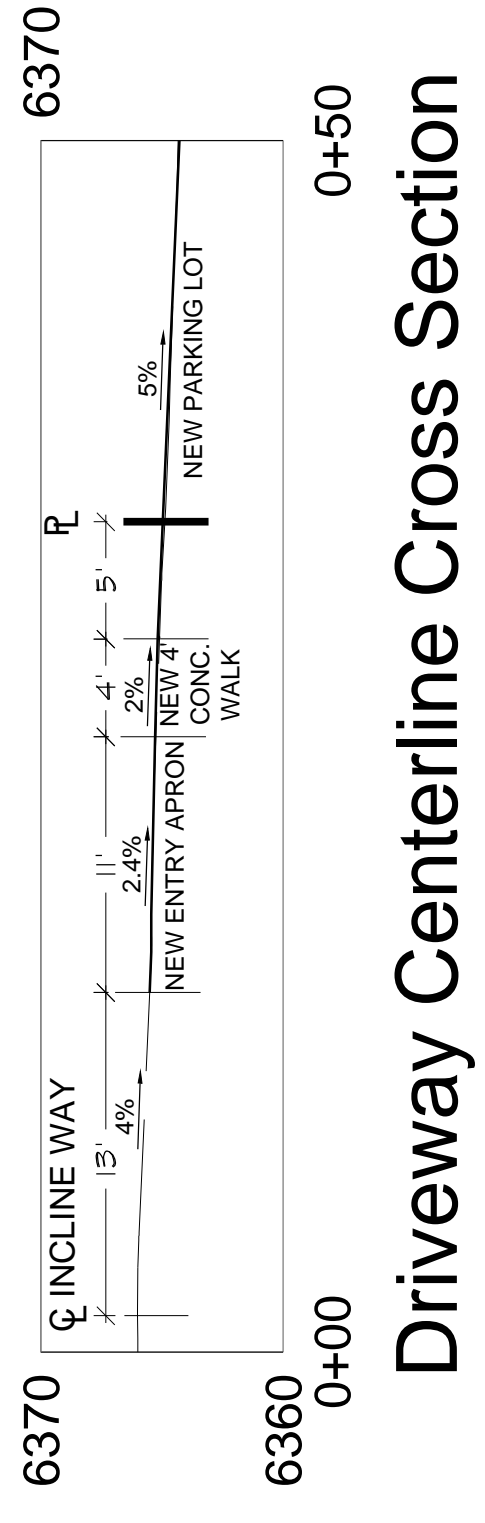
msa
MEMBER SINCE 2007

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DRAWN: M6A
DATE: TBD
SCALE: AS SHOWN
JOB No.: R20071

SHEET
E3.1

IMPROVEMENT QUANTITIES (APPROXIMATE)	17,586 SF
AC PAVING & AGG BASE (LOT & APRON)	480 LF
CONCRETE SIDEWALK	CUT: 215 CY FILL: 77 CY
GRADING	30X10' 15X7' 16X10' 18X10'
DRAINAGE FACILITIES (PREFAB W/ MIN. 94% VOID SPACE)	250 LF
TRENCH GRATE	200 LF (+/-)
DRAINAGE PIPING, 6" PVC	6 EA
LIGHTS W/ PULL BOX & LIGHT POLE BASE	

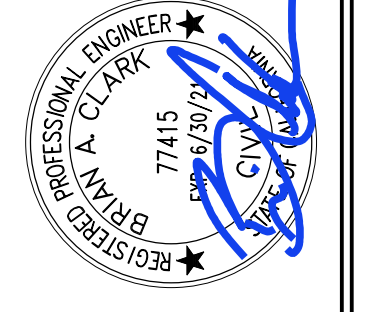


Brian Clark
 High Sierra Civil Engineering
 15472 Archery View
 Truckee, CA 96161
 Telephone: (530) 414-5026

PROPOSED CIVIL SITE PLAN	
REVISIONS	

BOWL INCLINE
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 920 Southwood Boulevard
 Incline Village
 Washoe County, Nevada

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 www.zirbelarchitect.com



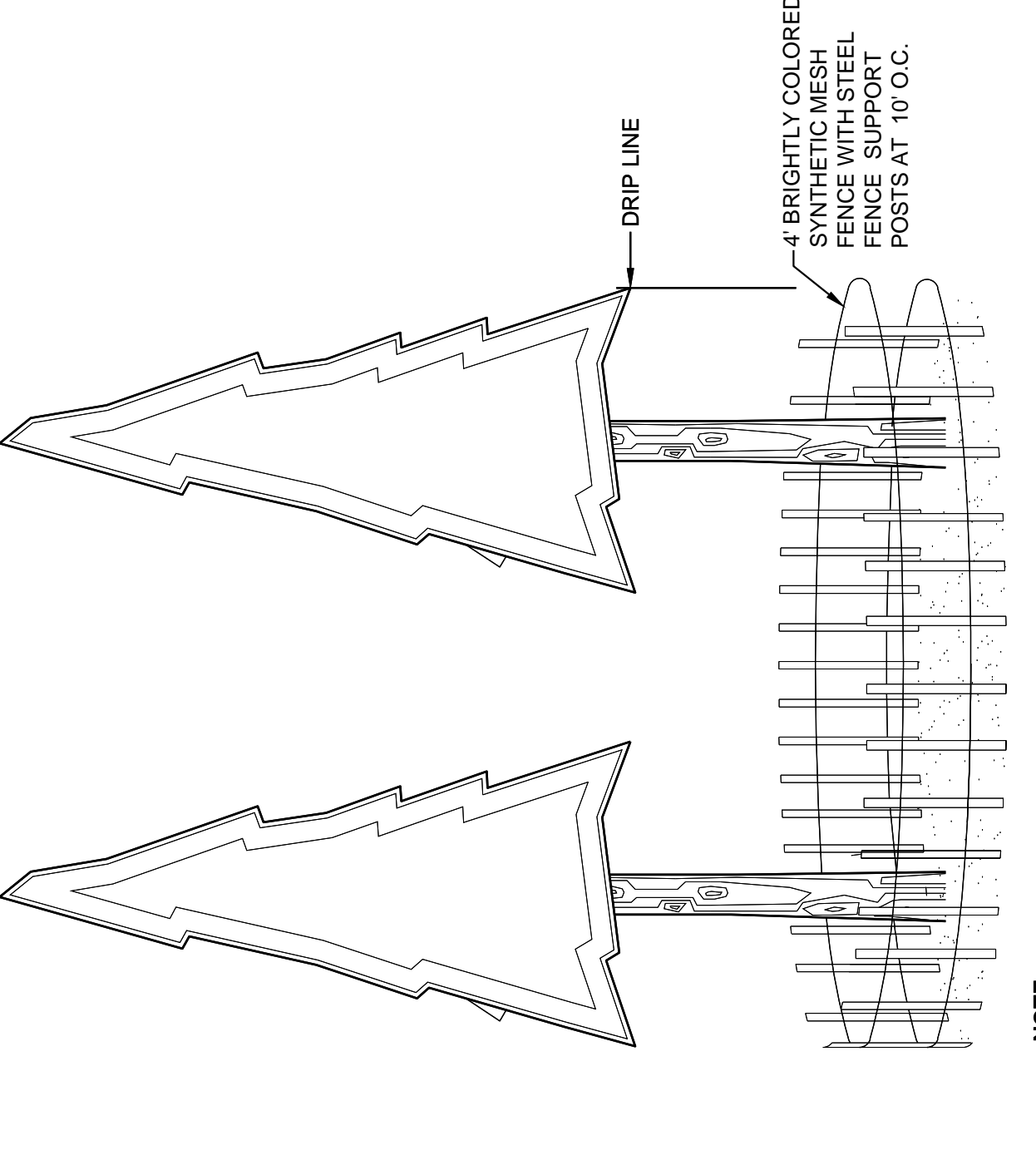
THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.

DRAWN: HSC/E - BC
 DATE: 12/20/20
 SCALE: 1" = 20'
 SHEET: C-2
 JOB No.: 2017

EROSION CONTROL NOTES:

1. PRIOR TO FORECAST RAIN OR SNOW EVENTS EXCEEDING 50% PROBABILITY (AS DETERMINED BY THE NATIONAL WEATHER SERVICE), ALL DISTURBED AREAS SHALL BE STABILIZED WITH PINE NEEDLES, MICHX OR OTHER APPROVED METHOD (PROJECT STAGING AREA INCLUDED). ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
2. TEMPORARY EROSION CONTROL MEASURES AND DETAILS AS SHOWN ON THIS PLAN ARE SUGGESTED MINIMUM METHODS OF CONTROLLING EROSION DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS DICTATED BY FIELD CONDITIONS TO CONTROL EROSION AND SEDIMENTATION.
3. WHETHER IS FORECAST, CONTRACTOR SHALL TAKE NECESSARY STEPS TO PROTECT AREAS DISTURBED BY CONSTRUCTION FROM EROSION AND/OR SUBSEQUENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE.
4. ALL TEMPORARY EROSION CONTROL FEATURES SHALL BE INSPECTED DAILY AND PRIOR TO INCLIMATE WEATHER AND CORRECTIVE ACTION TAKEN AS NECESSARY TO INSURE PROPER FUNCTION.
5. ALL AREAS DISTURBED BY CONSTRUCTION OF OFFSITE UTILITIES, INCLUDING ROADWAY SURFACES, SHOULDERS AND OTHER AREAS WILL BE RESTORED TO THE SATISFACTION OF WASHOE COUNTY.
6. ALL DISTURBED AREAS SHALL BE REVEGETATED OR OTHERWISE PROTECTED TO THE SATISFACTION OF THE ENGINEER. ONLY NATIVE BUSH AND GRASS SPECIES SHALL BE USED FOR REVEGETATION. REVEGETATION SHALL BE RESTORED WITHIN EACH PHASE SHALL BE RESTORED PURSUANT TO BEST MANAGEMENT PRACTICES (BMPs). THIS INCLUDES REVEGETATION OF EXISTING DIRT ROADS WHICH WILL NO LONGER BE UTILIZED FOR VEHICULAR ACCESS.
7. THE AREAS OF SOIL AND VEGETATION DISTURBANCE SHALL BE LIMITED TO THAT REQUIRED FOR CONSTRUCTION PURPOSES. EXCEPT WHERE REQUIRED FOR ACCESS, THERE SHALL BE NO DISTURBANCE IN AREAS TO BE LEFT IN A NATURAL STATE. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO AREAS TO BECOME PERMANENT CIRCULATION (E.G., ROADWAYS AND PARKING AREAS, ETC.) OR OTHER DESIGNATED ROUTES APPROVED BY THE ENGINEER.
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DUST CONTROL. MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONDUCT MAJOR DUST-GENERATING ACTIVITIES WHEN WIND VELOCITIES ARE LOW.
 - B. WORK AREAS. CONSTRUCTION EQUIPMENT TRAVEL ROUTES, AND EQUIPMENT TO CONTROL DUST.
 - C. PREVENT CONSTRUCTION VEHICLES FROM TRACKING MUD ONTO NEIGHBORING ROADS AND HIGHWAYS.
10. ALL DISTURBED AREAS WILL BE REVEGETATED WITH THE WASHOE COUNTY APPROVED SEED MIX, AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH.

- DUST CONTROL PRACTICES ARE REQUIRED FOR ANY GRADING ACTIVITY AND ARE APPLICABLE TO MOST CONSTRUCTION SITES. ALL EXPOSED AREAS OF THE APPROVED CONSTRUCTION SITE SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF PINE NEEDLES OR WOOD CHIPS. MULCHING TO A DEPTH WHICH PREVENTS WIND EROSION OF SOIL AND THE PRODUCTION OF DUST. OTHER EROSION CONTROL TECHNIQUES WHICH WILL NOT BE ACCEPTABLE. OTHER TECHNIQUES SUCH AS EROSION CONTROL BANKETS CAN BE SUBSTITUTED FOR MULCH IF THEY ARE INSTALLED AND MAINTAINED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- FENCING OF "NON-APPROVED" CONSTRUCTION AREAS SHALL BE SPECIFIED TO BE AT LEAST 48 INCHES HIGH AND SHALL BE CONSTRUCTED OF METAL POSTS AND EITHER ORANGE CONSTRUCTION FENCING OR METAL MESH FENCING ALSO AT LEAST 48 INCHES HIGH.
- NO MATERIAL OR EQUIPMENT SHALL ENTER OR BE PLACED IN THE AREAS PROTECTED BY FENCING OR OUTSIDE THE APPROVED CONSTRUCTION AREA WITHOUT PRIOR APPROVAL.
- TO REDUCE SOIL DISTURBANCE AND DAMAGE TO VEGETATION, THE AREA OF DISTURBANCE DURING THE CONSTRUCTION OF A STRUCTURE SHALL BE LIMITED TO THE AREA BETWEEN THE FOOTPRINT OF THE BUILDING AND THE PUBLIC ROAD. FOR THE REMAINDER OF THE SITE, THE DISTURBANCE AREA SHALL NOT EXCEED 12 FEET FROM THE FOOTPRINT OF THE STRUCTURE. EROSION CONTROL TECHNIQUES SUCH AS EROSION CONTROL BANKETS SHALL BE CLEARLY SHOWN ON THE APPROVED PLANS. ALL CHANGES OR EXCEPTIONS SHALL BE SHOWN ON THE USED SET OF PLANS FOR APPROVAL. ANY "IN-THE-FIELD" CHANGES SHALL BE APPROVED BY THE ENGINEER.



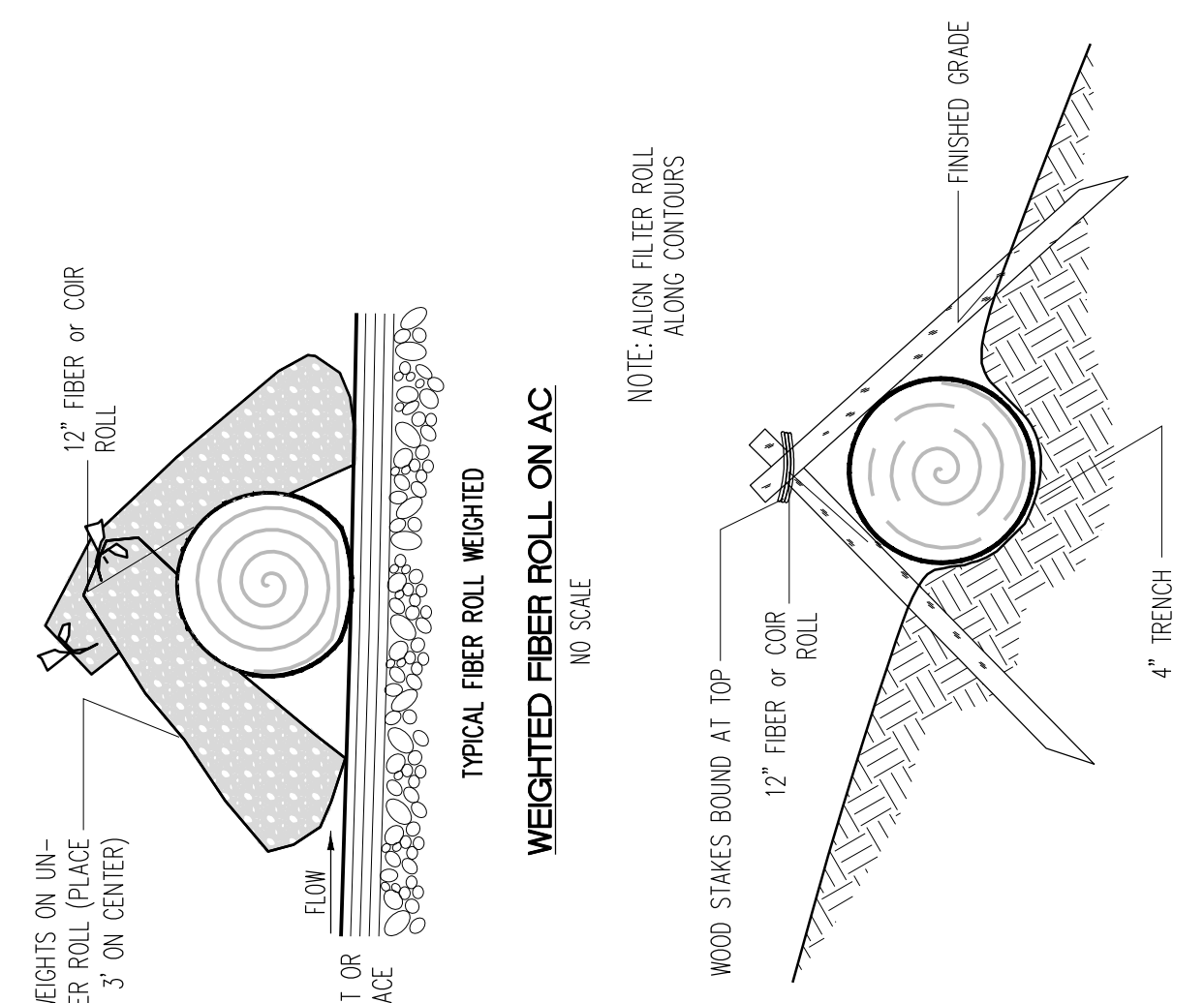
NOTE:
1. FOR USE IN OTHER AREAS, PLACE FENCING AT LIMIT OF AREA TO BE DISTURBED.

2 VEGETATION PROTECTION FENCE

NTS

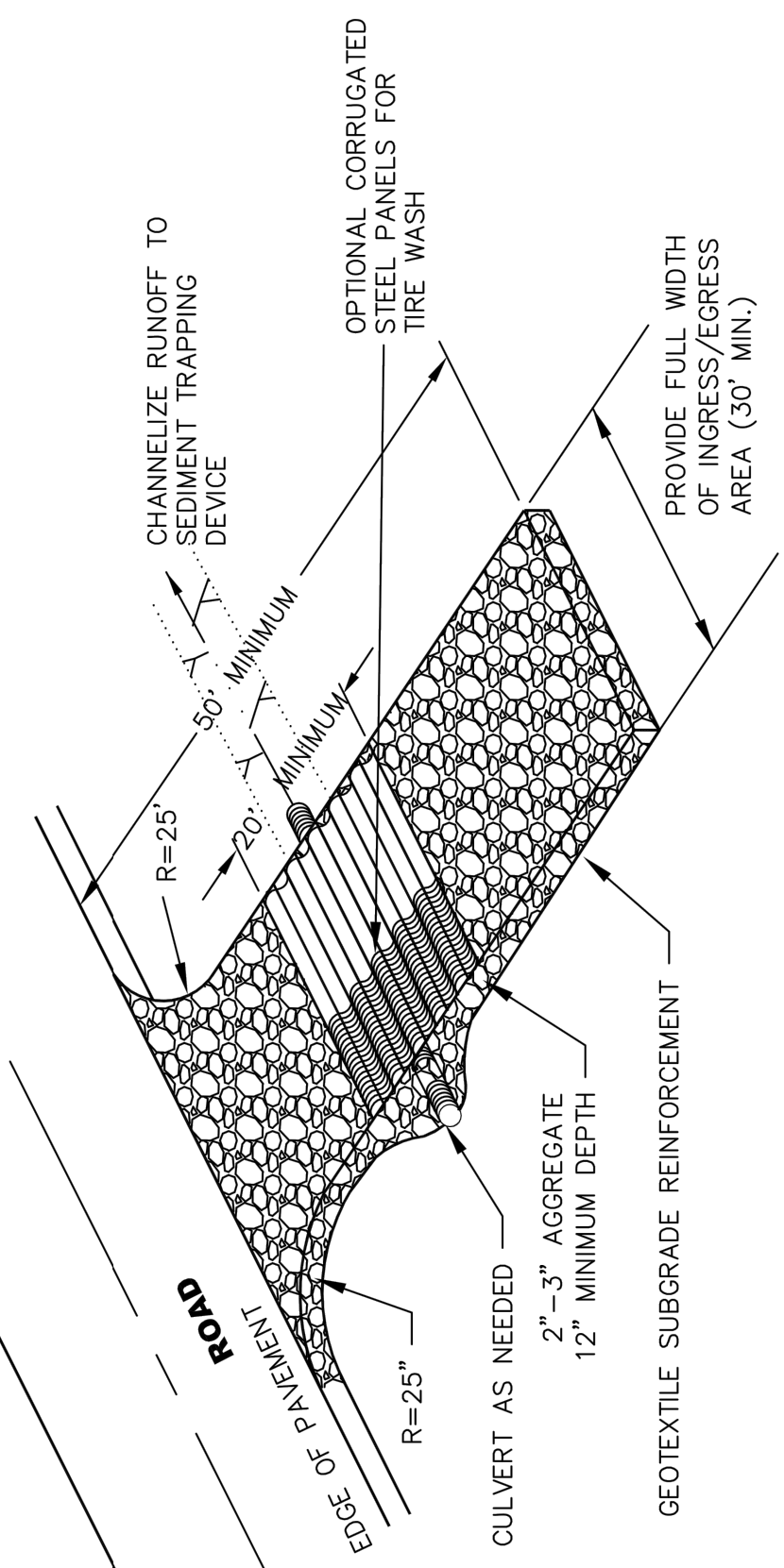
3 FIBER ROLL

NTS



4 TRACK OFF CONTROL

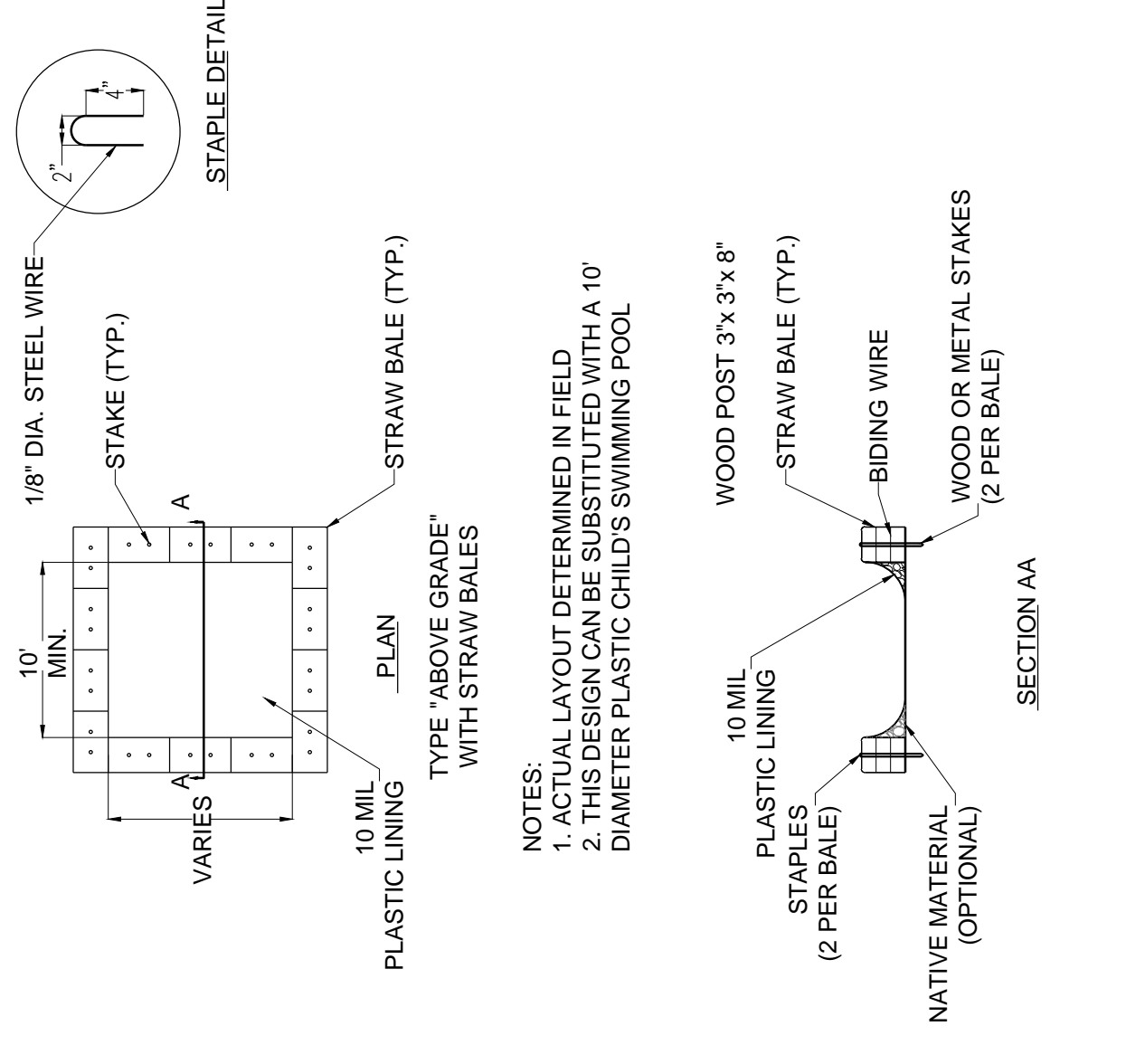
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- NOTES:**
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS.
 - THE AGGREGATE SHALL BE 2 - 3 IN. CRUSHED ROCK.
 - THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 - THE ENTRANCE SHALL BE CONSTRUCTED ON LEVEL GROUND.
 - PREPARATION OF THE ENTRANCE DURING CONSTRUCTION SHALL BE PROVIDED TO ENSURE THE INTEGRITY OF THE ENTRANCE DURING CONSTRUCTION.
 - CONTRACTOR TO MAINTAIN CONSTRUCTION ENTRANCE AT ALL TIMES.
 - CRUSHED ROCK MATERIAL SHALL BE ADDED WHEN SURFACE VOIDS ARE NOT VISIBLE.
 - ALL SEDIMENT DEPOSITS ON PAVED ROADWAYS SHALL BE REMOVED WITHIN 24 HOURS.
 - THE CRUSHED ROCK AND GEOTEXTILE SHALL BE REMOVED AT COMPLETION OF CONSTRUCTION.

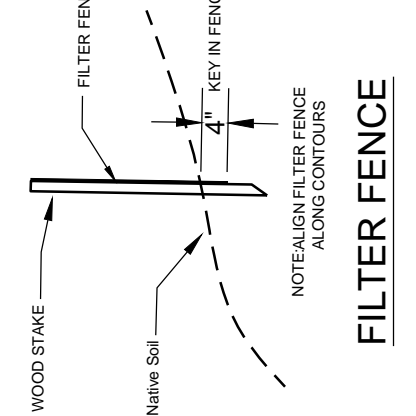
5 CONCRETE WASHOUT AREA

NTS



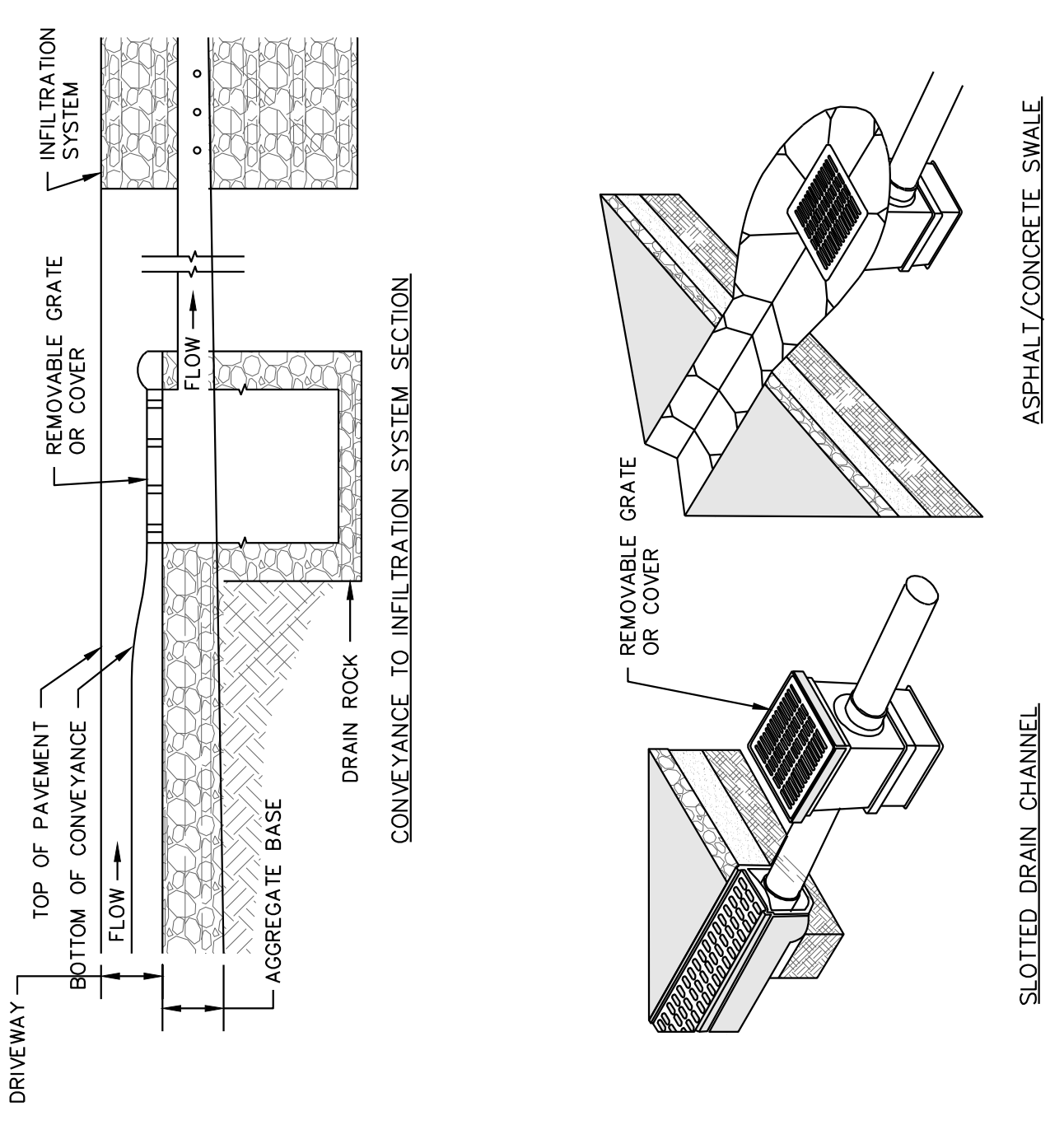
6 SILT FENCE

NTS



7 AREA DRAIN / SEDIMENT TRAP

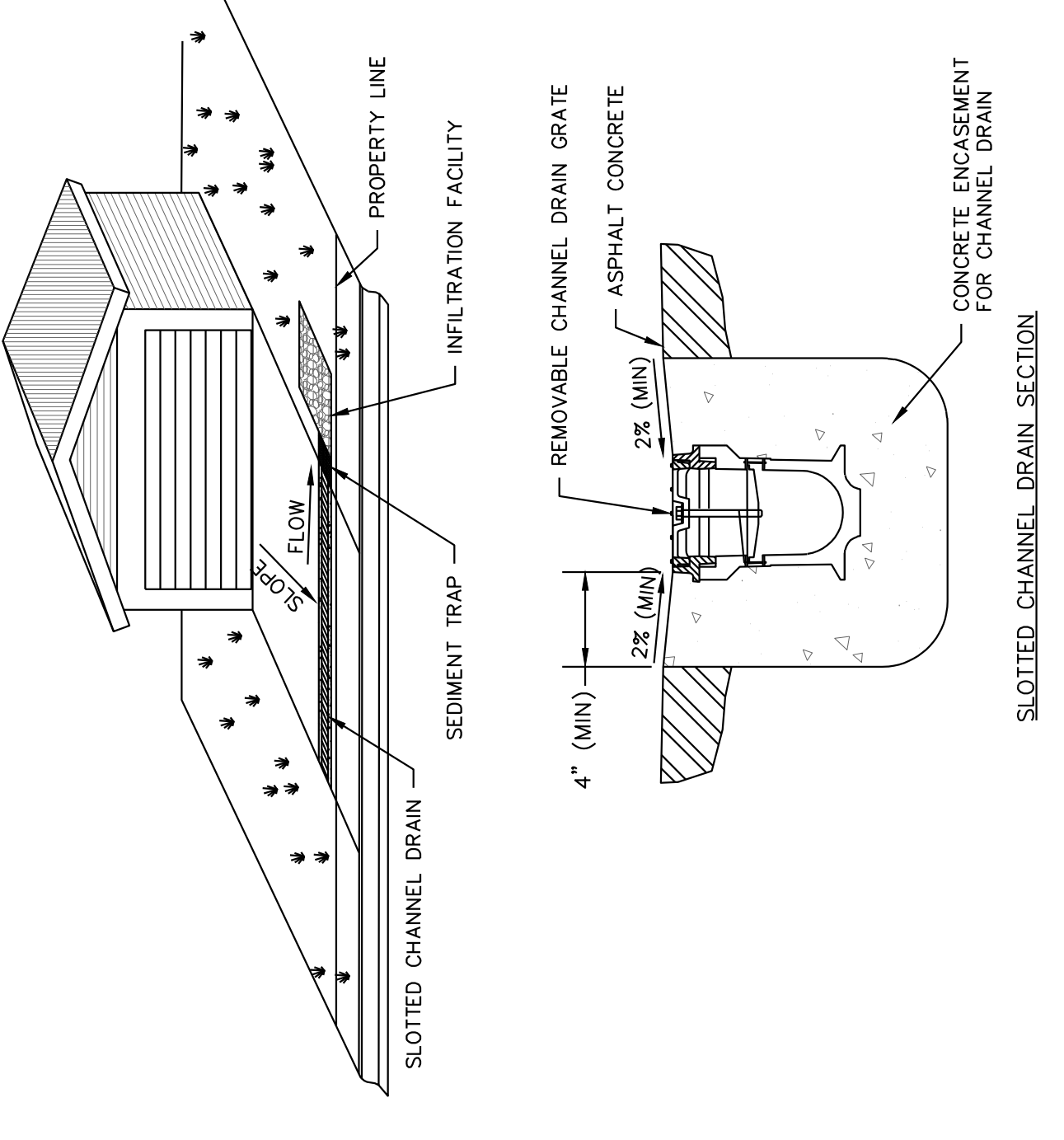
NTS



- NOTES:**
1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF SLOTTED CHANNEL DRAIN.
2. REFER TO SUPPLIER'S PRODUCT LITERATURE FOR INSTALLATION AND MAINTENANCE OF SLOTTED CHANNEL DRAIN.
3. FOR EASE OF MAINTENANCE, CHOOSE A BRAND THAT HAS REMOVABLE GRATES. CORRUGATED METAL PIPE SLOTTED CHANNEL DRAINS OR OTHER TYPES OF CHANNEL DRAINS WITHOUT REMOVABLE GRATES ARE DIFFICULT TO INSPECT AND MAINTAIN.
4. WITH A SLOPE GREATER THAN 1% TO ENSURE PROPER FLOW, AND PREVENT FREEZING AND STANDING WATER.
5. A REVERSE FLOW SYSTEM FOR A SLOTTED CHANNEL DRAIN MAY BE USED FOR DRIVEWAYS THAT SLOPE TOWARD AN AREA CONSIDERED UNSUITABLE FOR INFILTRATION (CONSTRAINED) AND WHEN A SLOPE TOWARD AN AREA CONSIDERED UNSUITABLE FOR INFILTRATION (CONSTRAINED) IS NOT SUFFICIENT TO PROVIDE ENOUGH SLOPE TO CONVEY RUNOFF TO THE DESIRED INFILTRATION SYSTEM LOCATION.

9 SLOTTED CHANNEL DRAIN

NTS



- NOTES:**
1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF SLOTTED CHANNEL DRAIN.
2. REFER TO SUPPLIER'S PRODUCT LITERATURE FOR INSTALLATION AND MAINTENANCE OF SLOTTED CHANNEL DRAIN.
3. FOR EASE OF MAINTENANCE, CHOOSE A BRAND THAT HAS REMOVABLE GRATES. CORRUGATED METAL PIPE SLOTTED CHANNEL DRAINS OR OTHER TYPES OF CHANNEL DRAINS WITHOUT REMOVABLE GRATES ARE DIFFICULT TO INSPECT AND MAINTAIN.
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6 SLOTTED CHANNEL DRAIN

NTS

Brian Clark
High Sierra Civil Engineering
15472 Archery View
Truckee, CA 96161
Telephone: (530) 414-5026

DETAILS

REVISIONS

NO.	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-

BOWL INCLINE RENOVATION/REMODEL
920 Southwood Boulevard
Incline Village
Washoe County, Nevada

DENNIS E. ZIRBEL ARCHITECT
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P.O. Box 286 Truckee, CA 96160
Telephone: 530.582.8979
Fax: 530.582.8938
www.zirbelarchitect.com

DRAWN: HSC - EC SHEET
DATE: 12/8/2020
SCALE: AS SHOWN
JOB No.: 2017

EC1

NTS

5 CONCRETE WASHOUT AREA

NTS

6 SILT FENCE

NTS

7 AREA DRAIN / SEDIMENT TRAP

NTS

9 SLOTTED CHANNEL DRAIN

NTS

4 TRACK OFF CONTROL

NTS

3 FIBER ROLL

NTS

2 VEGETATION PROTECTION FENCE

NTS

1 INDIVIDUAL TREE PROTECTION

NTS

5 CONCRETE WASHOUT AREA

NTS

6 SILT FENCE

NTS

7 AREA DRAIN / SEDIMENT TRAP

NTS

9 SLOTTED CHANNEL DRAIN

NTS

4 TRACK OFF CONTROL

NTS

3 FIBER ROLL

NTS

2 VEGETATION PROTECTION FENCE

NTS

1 INDIVIDUAL TREE PROTECTION

NTS

5 CONCRETE WASHOUT AREA

NTS

6 SILT FENCE

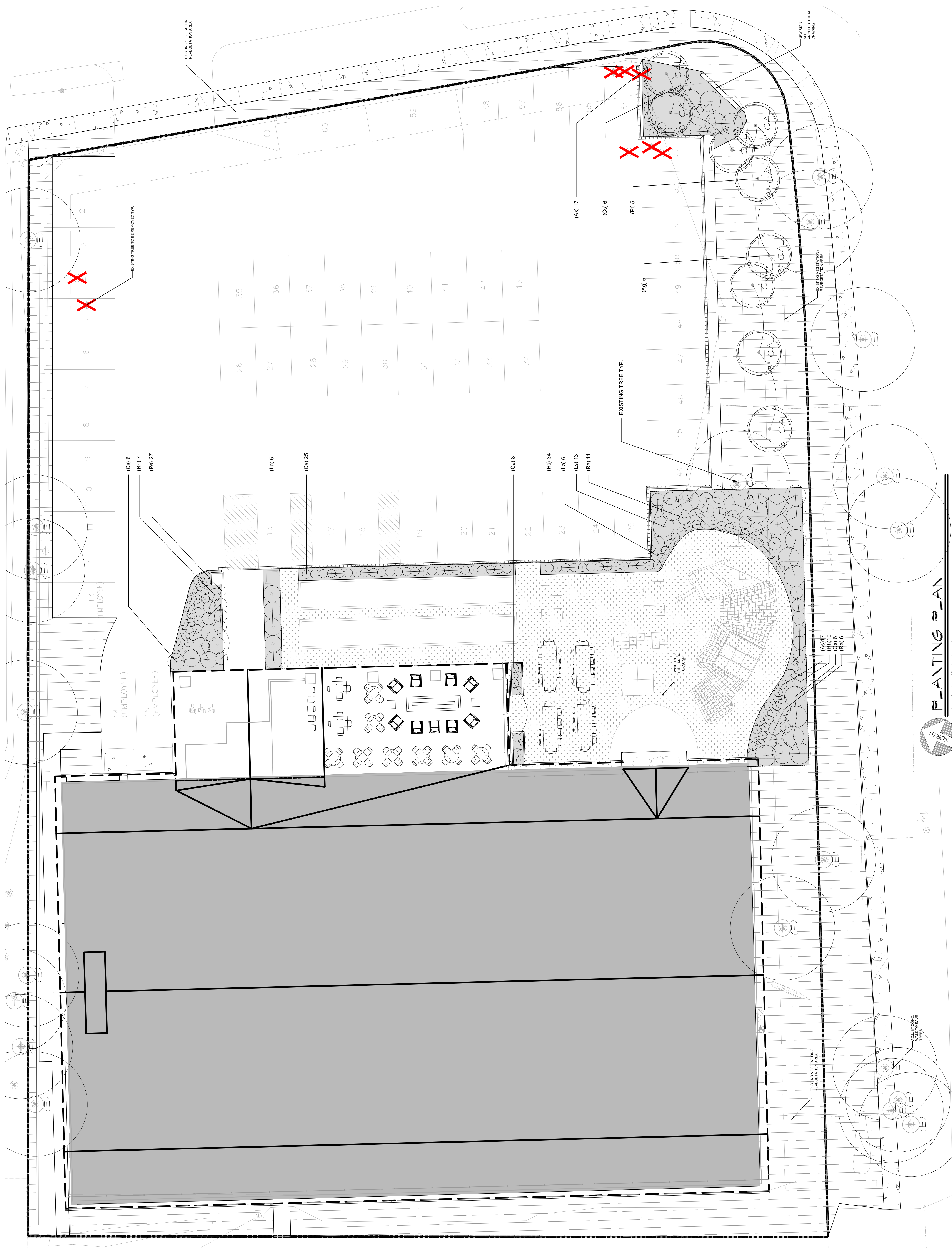
NTS

7 AREA DRAIN / SEDIMENT TRAP

NTS

9 SLOTTED CHANNEL DRAIN

NTS



PLANT LIST & LEGEND

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ag	Acer ginnala	Amur Maple	5	3" Cal.
Pt	Populus tremuloides	Quaking Aspen	6	3" Cal.
SHRUBS				
Cs	Comus sericea	Red-twig Dogwood	31	5 Gall.
La	Lavandula spp.	Lavender	11	1 Gall.
Al	Alpine Currant	Alpine Currant	1	1 Gall.
Ri	Ribes alpinum	Alpine Currant	1	1 Gall.
Lo	Low-Grow Sumac	Low-Grow Sumac	17	1 Gall.
ORNAMENTAL GRASSES				
As	Achillea spp.	Yarrow	34	1 Gall.
Gr	Grasses	Grasses	34	1 Gall.
Bl	Blue Oat Grass	Blue Oat Grass	34	1 Gall.
He	Heilbronn sp.	Heilbronn sp.	34	1 Gall.
Pe	Penstemon eatonii	Firecracker Penstemon	27	1 Gall.
PRELIMINARY PLANTING SUMMARY				
PLANTED AREAS WITH MULCH:			1,820 SF	
PROPOSED TURF (SYNTHETIC):			6,360 SF	
EXISTING PLANTING AREAS (INCLUDING OFF-SITE AREAS):			10,500 SF	
EXISTING PLANTING AREAS TO BE REVEGETATED FROM DISTURBANCE:			10% ESTIMATION (1,050 SF)	
EXISTING TREES TO BE REMOVED:			8 TREES	

PLANT LEGEND

- PROPOSED TREE
- LARGE SHRUB (5 GAL)
- SMALL SHRUB (1 GAL)
- PERENNIAL PLANTING
- SYNTHETIC TURF AREA
- EXISTING VEGETATION REVEGETATE IF DISTURBED
- PLANTING REQUIRING LANDSCAPE MULCH

DESIGNWORKSHOP
 LANDSCAPE ARCHITECTURE & PLANNING • 1100 S. 10th St. • Las Vegas, NV 89102 • 702.735.1111
 2025 S. 10th St. • Las Vegas, NV 89102 • 702.735.1111

PLANTING PLAN

REVISIONS

BOWL INCLINE RENOVATION/REMODEL
 920 Southwood Boulevard
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 Washoe County, Nevada

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 www.zirbelarchitect.com

DRAWN: TM
 DATE: 12/8/2010
 SCALE: 1" = 10'-0"
 JOB NO.: 2011

SHEET
L-1

PLANTING PLAN
 SCALE: 1" = 10'-0"



DRIP IRRIGATION LEGEND		
SYMBOL	UNIT	COMMENT
	SCH 40 PVC IRRIGATION MAINLINE	INSTALL 6\"/>
	IRRIGATION SLEEVE	SCH 40 PVC, 2\"/>
	LATERAL PVC DISTRIBUTION LINE	SCHEDULE 40 PVC, SIZED PER VALVE
	LATERAL POLY DISTRIBUTION LINE (DRIP)	3\"/>
	WEATHERTRAK ETPOSS	3\"/>
	WATER METER	PER WATER UTILITY COMPANY
	BACKFLOW PREVENTER	3\"/>
	WEATHERTRAK AND FLOW SENSOR	WTF3-150-PD-NO W/ COMPATIBLE FLOW SENSOR
	DRIP VALVE ASSEMBLY	1\"/>
	QUICK COUPLING VALVE	4\"/>
	ISOLATION VALVE	4\"/>
	CONTROL WIRE CONDUIT	2\"/>
	DRIP IRRIGATION ZONE	
	VALVE #	
	FLOW RATE (GPM)	
	VALVE SIZE	

DESIGNWORKSHOP
 200 S. 5800 E. 125th Street, Suite 205 • Summerlin, NV 89149-5600 • 772-569-9922
 www.designworkshop.com

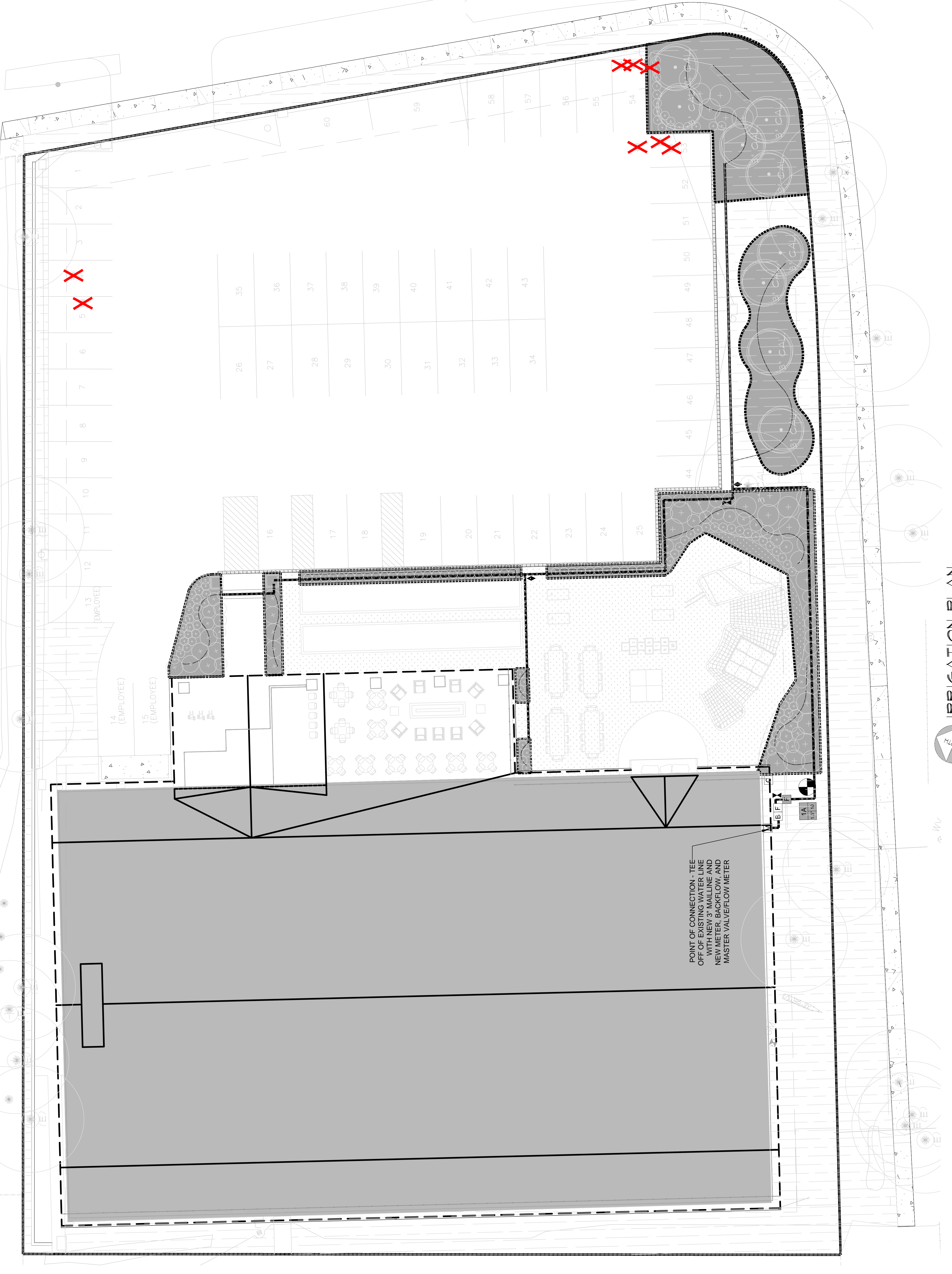
IRRIGATION PLAN	
REVISIONS	

**BOWL INCLINE
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DRAWN: DE/TTM
 DATE: 12/8/2020
 SCALE: 1" = 10'-0"
 JOB NO.: 2017

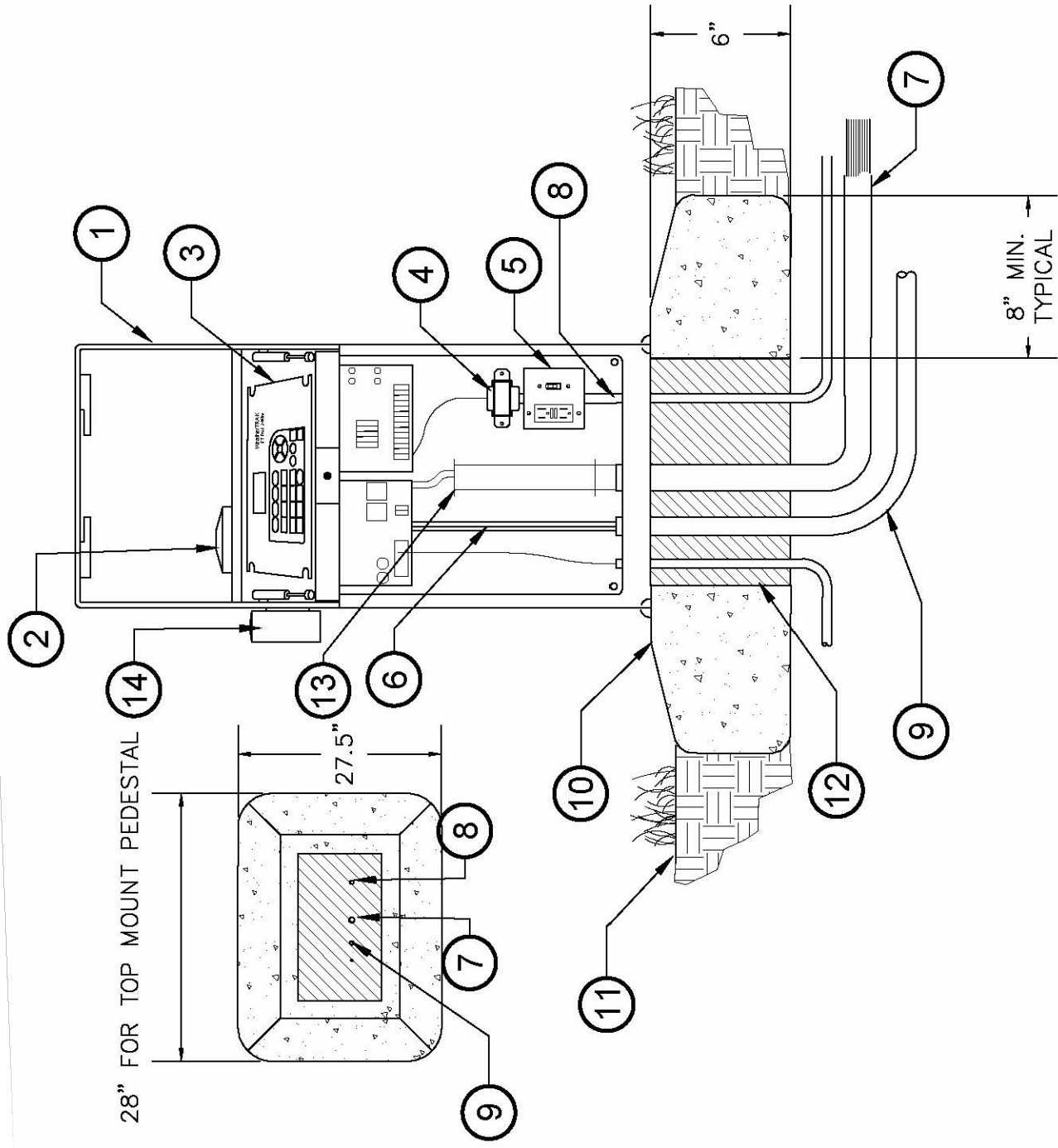
SHEET
L-2



POINT OF CONNECTION - TEE
 OFF OF EXISTING WATER LINE
 WITH NEW 3" MAINLINE AND
 NEW METER, BACKFLOW, AND
 MASTER VALVE/FLOW METER

IRRIGATION PLAN
 SCALE: 1" = 10'-0"





WEATHERTRAK ET PROS 2-WIRE 18" TOP ENTRY ENCLOSURE

Wire Length Limits for the 2-Wire Path

WeatherTRAK 2-Wire provides easy installation and wire extending options. This section describes the 2-wire path length limits both worst-case and typical.

Typical 2-Wire Path Length Limits

This represents the typical scenario where decoders are installed evenly along the 2-wire path.

Number of simultaneous valves	Valves evenly distributed along 2-wire (ft.)	
	AWG 16	AWG 14
1	11,000	17,800
2	10,200	16,300
3	8,800	14,100
4	7,800	12,500
5	7,000	11,200
6	6,300	10,100
7	5,800	9,200
8	5,300	8,500

Worst Case 2-Wire Path Length Limits

This represents the worst-case scenario where all the installed decoders are at the end of the 2-wire path.

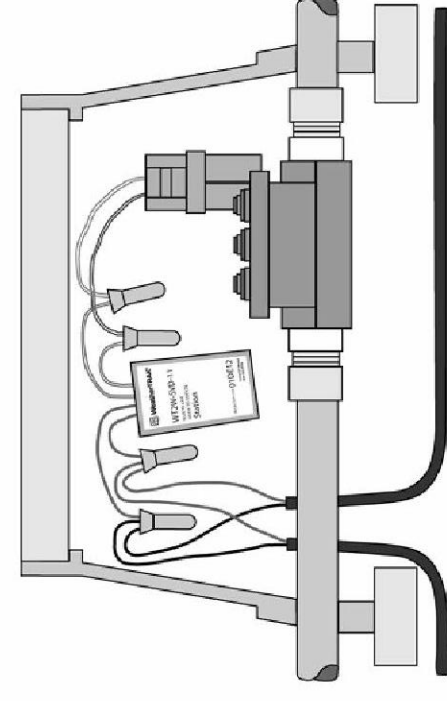
Number of active valves on 2-wire path	Maximum wire length (ft.) assuming #16/2-wire
1	6,200
2	5,600
3	4,900
4	4,300

- 1 STAINLESS STEEL AUTOMATIC CONTROLLER ENCLOSURE ASSEMBLY. SEE IRRIGATION LEGEND FOR MODEL AND LOW PROFILE ANTENNA.
- 2 WEATHERTRAK ET PROS 2-WIRE CONTROLLER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 3 WEATHERTRAK ET PROS 2-WIRE CONTROLLER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 4 CONTROLLER TRANSFORMER.
- 5 GFI ON/OFF POWER SWITCH RECEPTACLE. (OPTIONAL)
- 6 OPTIONAL CONVENTIONAL FLOW SENSOR CABLE AND MASTER VALVE WIRES PER SPECIFICATIONS.
- 7 3" PVC SWEEP ELL AND CONDUIT FOR CONTROL WIRES.
- 8 1" PVC SWEEP ELL AND CONDUIT FROM METERED POWER SUPPLY.
- 9 2" PVC SWEEP ELL AND CONDUIT FOR OPTIONAL CONVENTIONALLY WIRED FLOW SENSOR AND MASTER VALVE WIRES.
- 10 POURED CONCRETE BASE. SLOPE TO DRAIN.
- 11 FINISH GRADE. 2" BELOW TOP OF CONCRETE BASE.
- 12 FILL VOIDS WITH CONCRETE SLURRY MIX.
- 13 NEATLY BUNDLE WIRES AND SECURE WITH WIRE TIES. (TYPICAL)
- 14 RAIN SENSOR WITHIN VIT RAIN SENSOR ENCLOSURE (PT# RGRVRS) PER SPEC.

NOTE: MINIMUM CONCRETE BASE REQUIREMENTS. CONTRACTOR SHALL VERIFY NUMBER AND SIZE OF CONDUITS REQUIRED FOR EACH ENCLOSURE INSTALLATION. USE ENCLOSURE MANUFACTURER'S TEMPLATE FOR PROPER LAG BOLT PLACEMENT. PROVIDE A MINIMUM 2" OF CONCRETE FROM LAG BOLT TO OPENING IN CONCRETE BASE FOR CONDUITS.

Station Decoder to Solenoid

Each irrigation control valve must be connected to a WeatherTRAK 2-Wire Station Decoder (WT2W-SVD-11). Each station decoder is programmed with a station number. The station decoder must be connected to the 2-wire path and the solenoid using the included 3M DBRY-6 splice kits. The decoder and splice kits should be based in a valve box for easier troubleshooting and diagnostics.



Notes:

- WeatherTRAK 2-Wire systems are **NOT** compatible with the following solenoids:
 - DC latching solenoids
 - Toro Spike-Guard™ solenoids
 - Netafim Aquative Plus® solenoids
- Rain Bird DV Series valve solenoids are **NOT** recommended for use with the WeatherTRAK 2-Wire system due to their high current draw.

CONTROLLER NOTES:

WEATHERTRAK 2 WIRE COMPONENTS FOR CARSON CITY IRRIGATION SYSTEM WIRING:

- WIRING TYPE TO BE DOUBLE-JACKETED PVC TWO-CONDUCTOR SOLID CORE, WITH 3/16" INSULATION, HIGH DENSITY AND SUNLIGHT RESISTANT. POLYETHYLENE OUTER JACKET TO CONFORM WITH ICEA S-CG-402, WITH A MINIMUM OF 1/8" INSULATION. WIRING ON SHALL BE INSTALLED IN A PROTECTIVE CONDUIT. CONDUIT SIZE TO BE #1 WITH A MAXIMUM DISTANCE TO THE FURTHEST VALVE SET PER MANUFACTURER'S RECOMMENDATIONS.
- CONNECTORS TO THE DECODERS TO BE TW-SPLICE-14 OR EQUAL GEL FILLED CONNECTORS. CONTRACTOR TO TEST ALL CONNECTIONS BEFORE IMMERSING THE WIRE NUT IN THE GEL-FILLED CAP. TWIST WIRES TO PROVIDE A SOLID MECHANICAL CONNECTION BEFORE SECURING THE ATTACHMENT BY ADDING THE WIRE NUT. ADHERE TO ALL LOCAL AND NATIONAL BUILDING AND ELECTRICAL CODES.

GROUNDING RODS AND PLATES

- ALL GROUNDING RODS SHALL BE BARE COPPER OF 5/8" DIAMETER OR LARGER AND 8 FEET LONG OR LARGER.
- ALL GROUNDING PLATES SHALL BE 4" X 96", AS OUTLINED IN THE ASIC EARTH GROUNDING GUIDELINES 1002-2002.
- A MEASURED RESISTANCE READING OF NO MORE THAN 25 OHMS IS REQUIRED AT EACH LIGHTNING ARRESTOR. WIRES OR BARE COPPER SHALL BE INSTALLED 500 FEET ALONG THE WIRE TO THE POINT OF CONNECTION. WIRE RESISTANCE SHALL BE MEASURED AT THE POINT OF CONNECTION. REFER TO ASIC SPEC SECTION 7.0 - MEASURING RESISTANCE ITEM A.
- ALL CONNECTIONS TO THE GROUNDING RODS SHALL CONFORM TO ASIC EARTH GROUNDING GUIDELINE 1002-2002 AND SHALL CONSIST OF A 'CADWELD' TYPE OF CONNECTION.

VALVE DECODERS

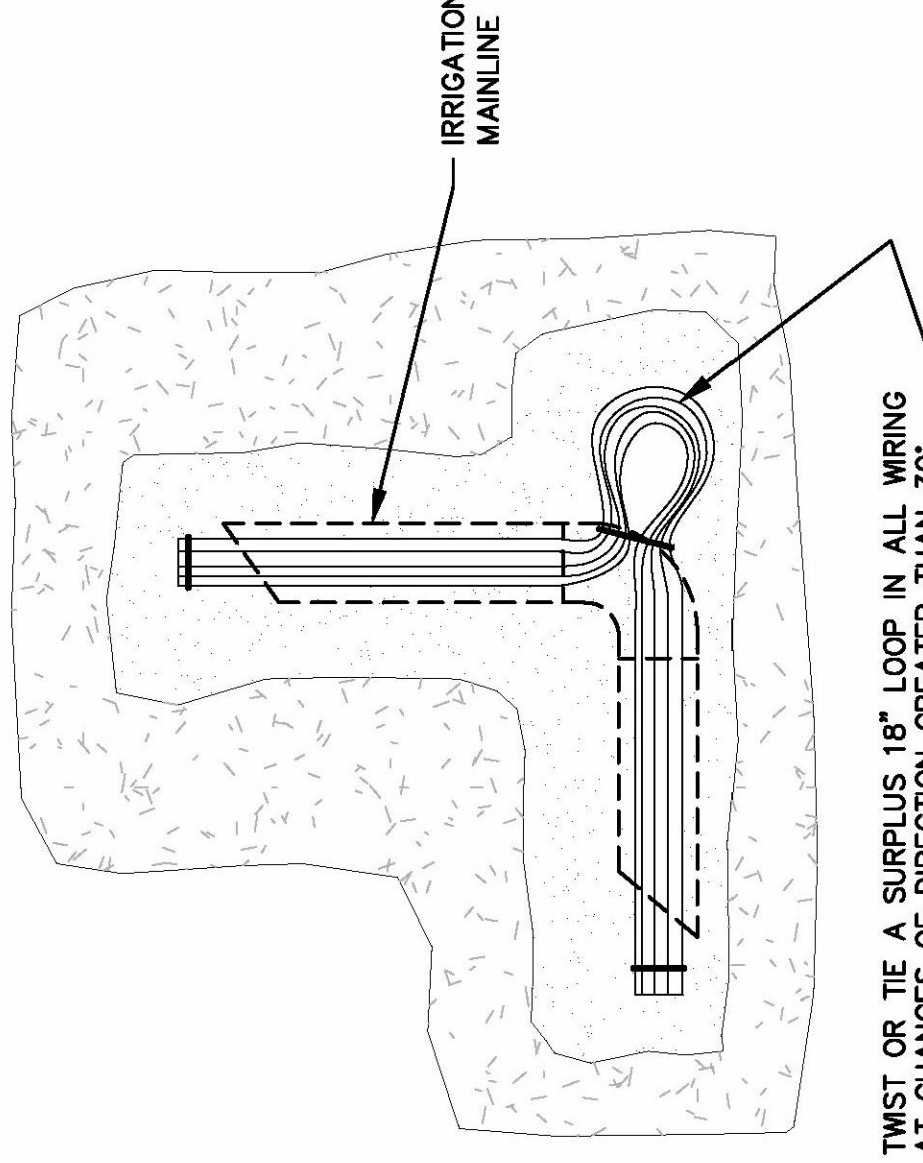
- DECODERS SHALL BE LOCATED AT EACH VALVE (1 PER VALVE). LOCATE THE DECODERS PER MANUFACTURER'S RECOMMENDATIONS. DECODERS SHALL BE WEATHERTRAK DECODER OR APPROVED EQUIVALENT THAT IS COMPATIBLE WITH CONTROLLER. INSTALL DECODERS PER MANUFACTURER'S RECOMMENDATIONS.

FLOW SENSOR

- THE FLOW SENSOR SHALL BE WEATHERTRAK FLOW3 HYDROMETER WITH POWER SUPPLY AND UNION PHOTO DIODE HYDROMETER, 1.5", 1.8-55 GPM, MAX 235 PSI. PVC SLIP TYPE CONNECTION. APPROXIMATE PRESSURE AT THE EXISTING POINT OF CONNECTION IS APPROXIMATELY 70 PSI. CONTRACTOR TO TEST PRESSURE FOR VERIFICATION.
- INSTALL THE FLOW SENSOR IN THE PLANTER WITH THE POINT OF CONNECTION CONFORMING TO THE REQUIREMENTS FOR PIPE SPACING BETWEEN MASTER VALVE AND FLOW SENSOR.
- SEE PLANS FOR THE TYPE AND LOCATION OF THE MASTER VALVE. THE MASTER VALVE SHALL BE WIRED TO THE CONTROLLER FOR AUTOMATIC SHUT-DOWN OF THE SYSTEM.

EXISTING RAINMASTER CONTROLLER RETROFIT

- CONTRACTOR SHALL REPLACE EXISTING RAINMASTER CONTROLLER WITH SITEONE LANDSCAPE SUPPLY WEATHERTRAK 2-WIRE CONTROLLER AND CONVENTIONAL WIRE RETROFIT KIT. SEE SPEC FOR MODEL NUMBERS. CONTACT JAMES WELLS AT SITEONE LANDSCAPE SUPPLY, 1675 NICHOLS DRIVE ROCKLIN, CA 95765 (925-451-1610).

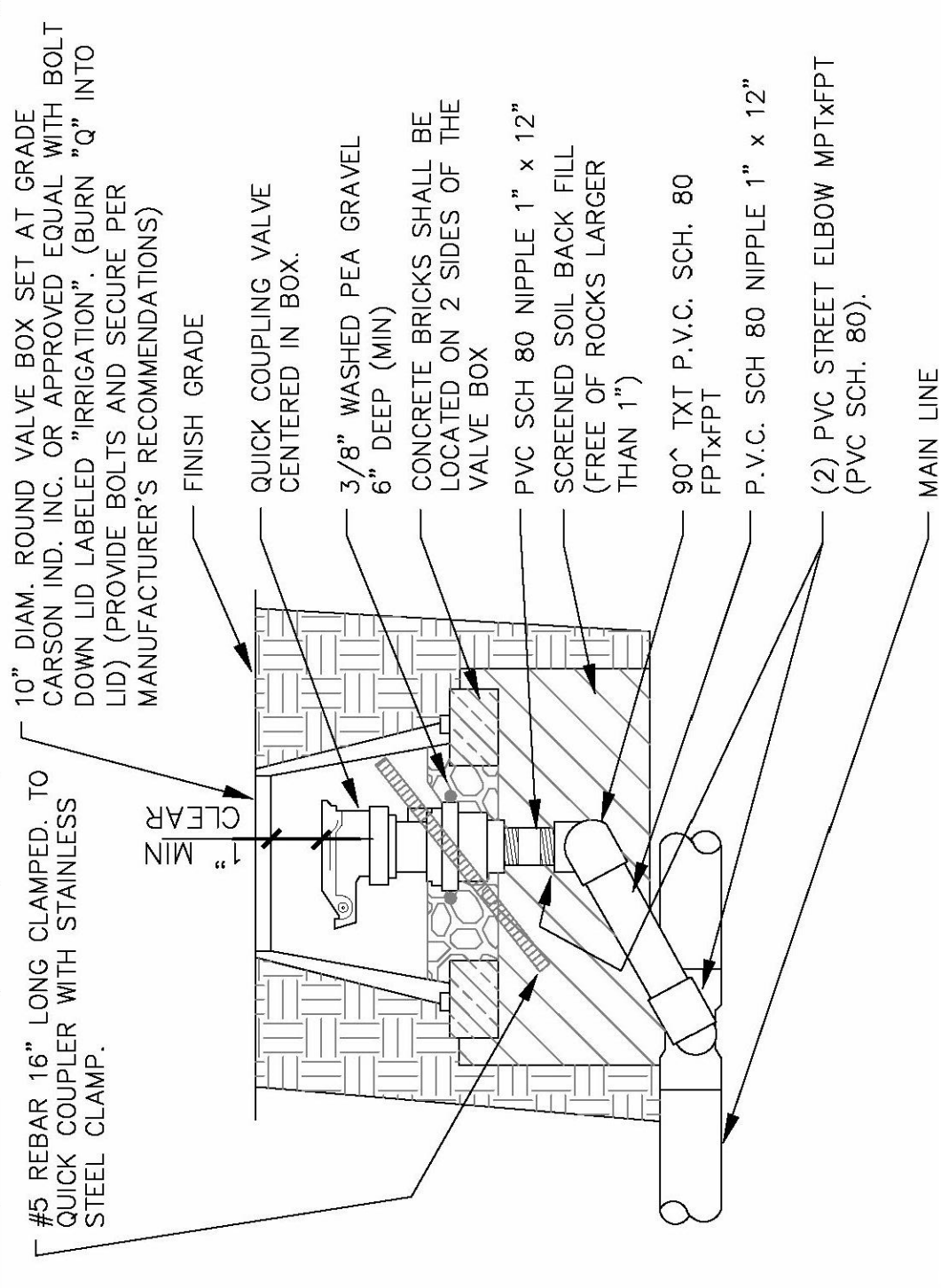


TWIST OR TIE A SURPLUS 18" LOOP IN ALL WIRING AT CHANGES OF DIRECTION GREATER THAN 30°. UNTWIST OR UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.

1 CONTROLLER WIRING

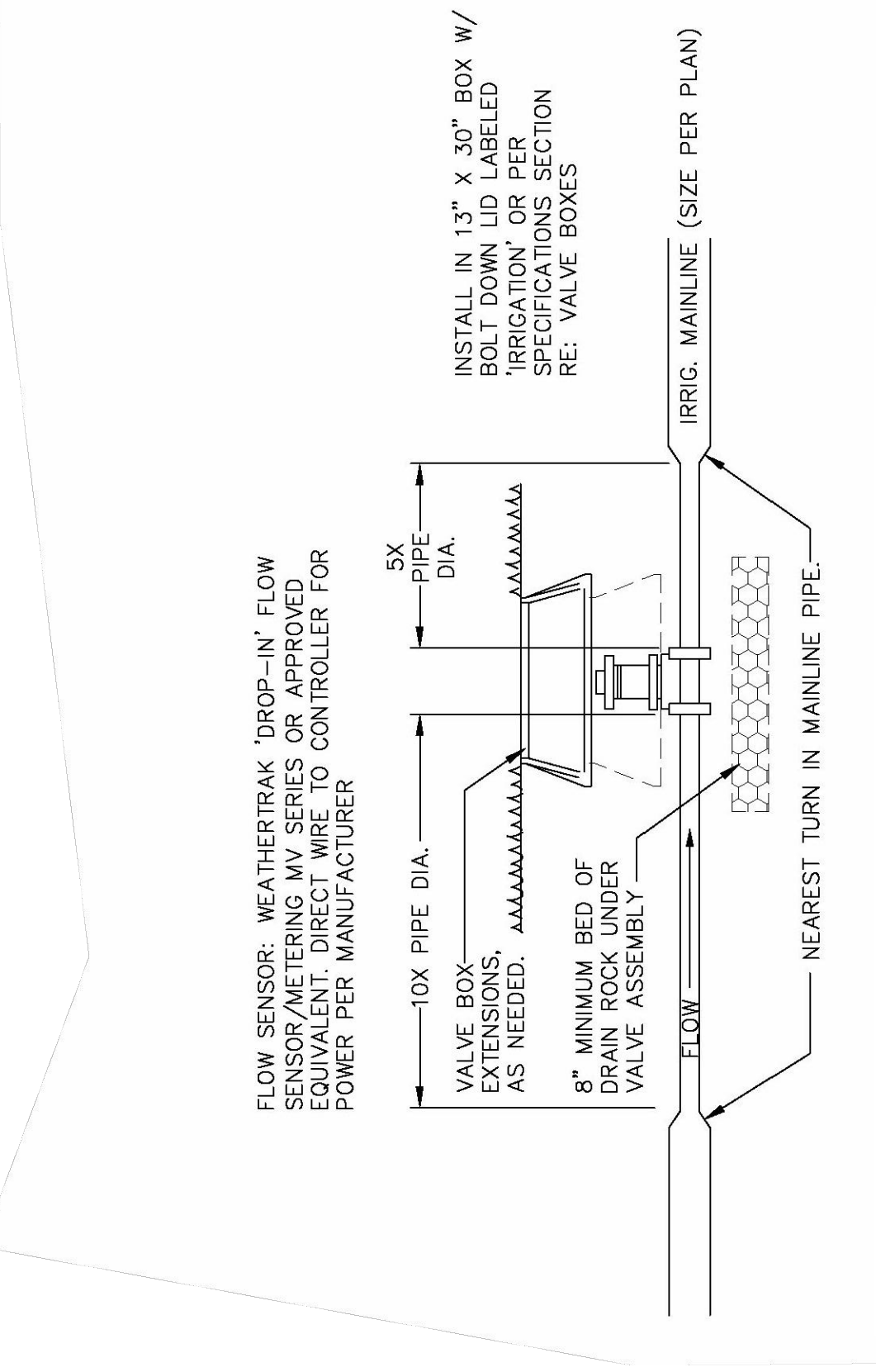
CONTROL WIRE 6/2015

NOT TO SCALE

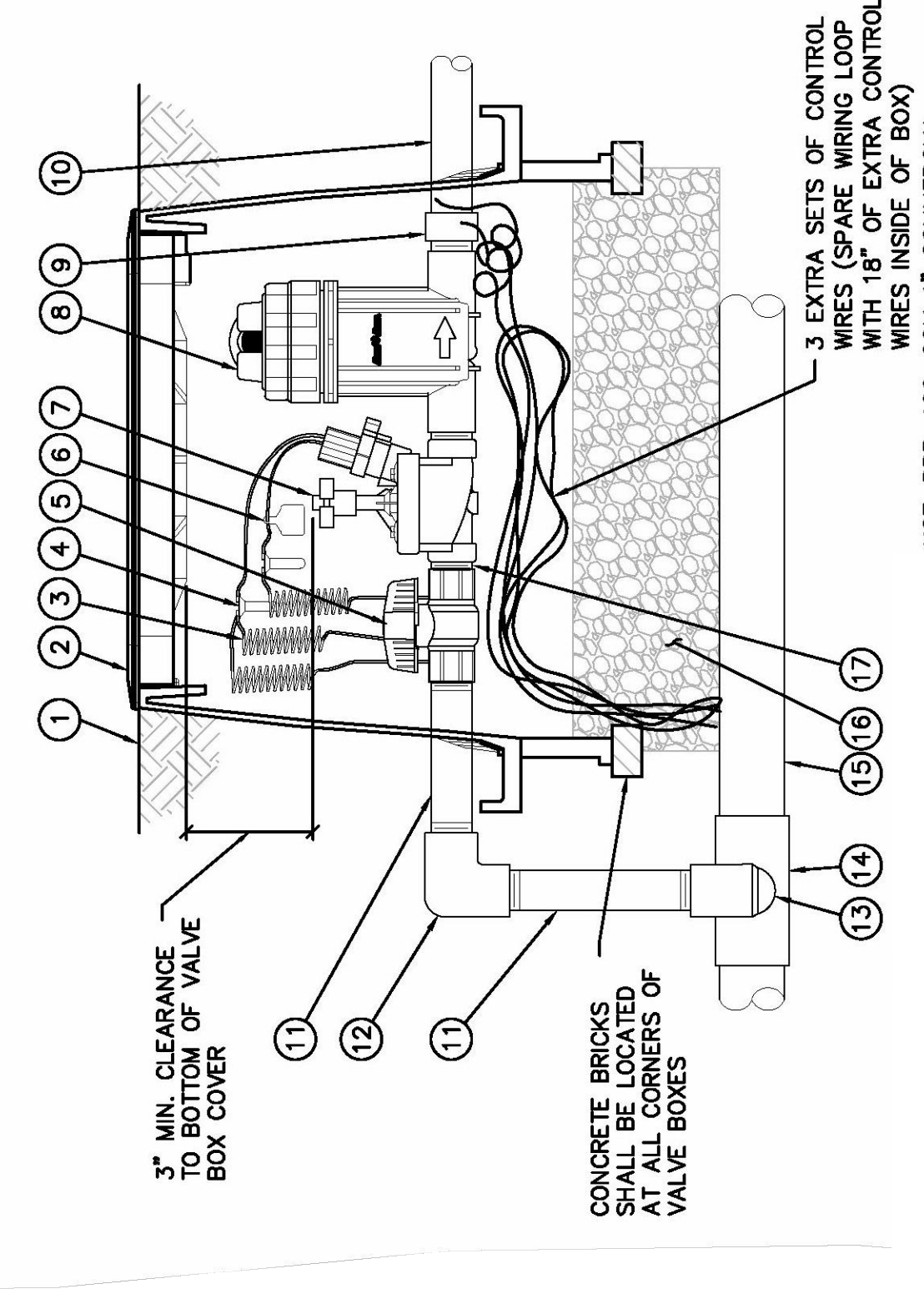


QUICK COUPLING VALVE

- 1 FINISH GRADE / TOP OF MULCH
- 2 VALVE BOX WITH COVER: CARSON INDUSTRIES INC. OR AN APPROVED EQUAL, WITH BOLT DOWN LID LABELED "IRRIGATION" (PROVIDE BOLTS, AND SECURE PER MANUFACTURER'S RECOMMENDATIONS) BOX TO SET FLUSH & LEVEL WITH FINISH GRADE.
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- 6 ID TAG
- 7 REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUDED IN XCZ-PRB-100-COM KIT)
- 8 PRESSURE REGULATING QUICK-CHECK FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- 9 PVC SCH 40 FEMALE ADAPTOR
- 10 LATERAL PIPE / DRIP LINE
- 11 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 12 PVC SCH 40 ELL
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 MAINLINE PIPE
- 16 6-INCH MINIMUM DEPTH BED OF 3/4-INCH WASHED PEA GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)

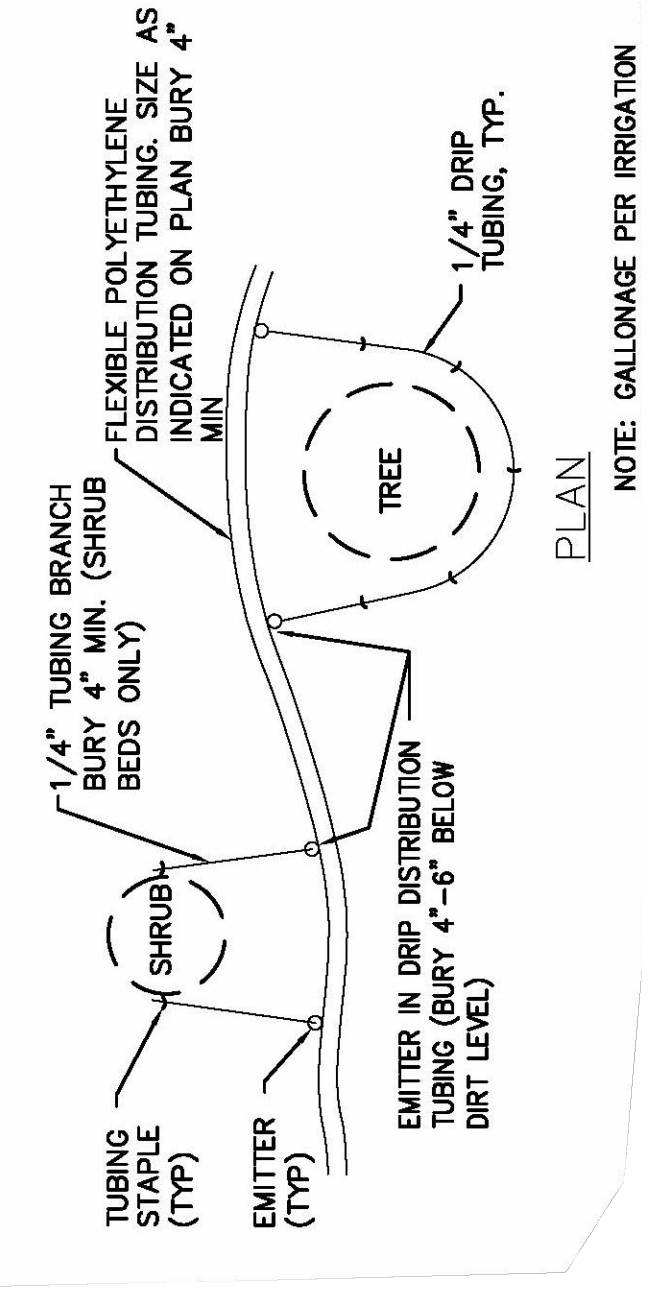


FLOW SENSOR



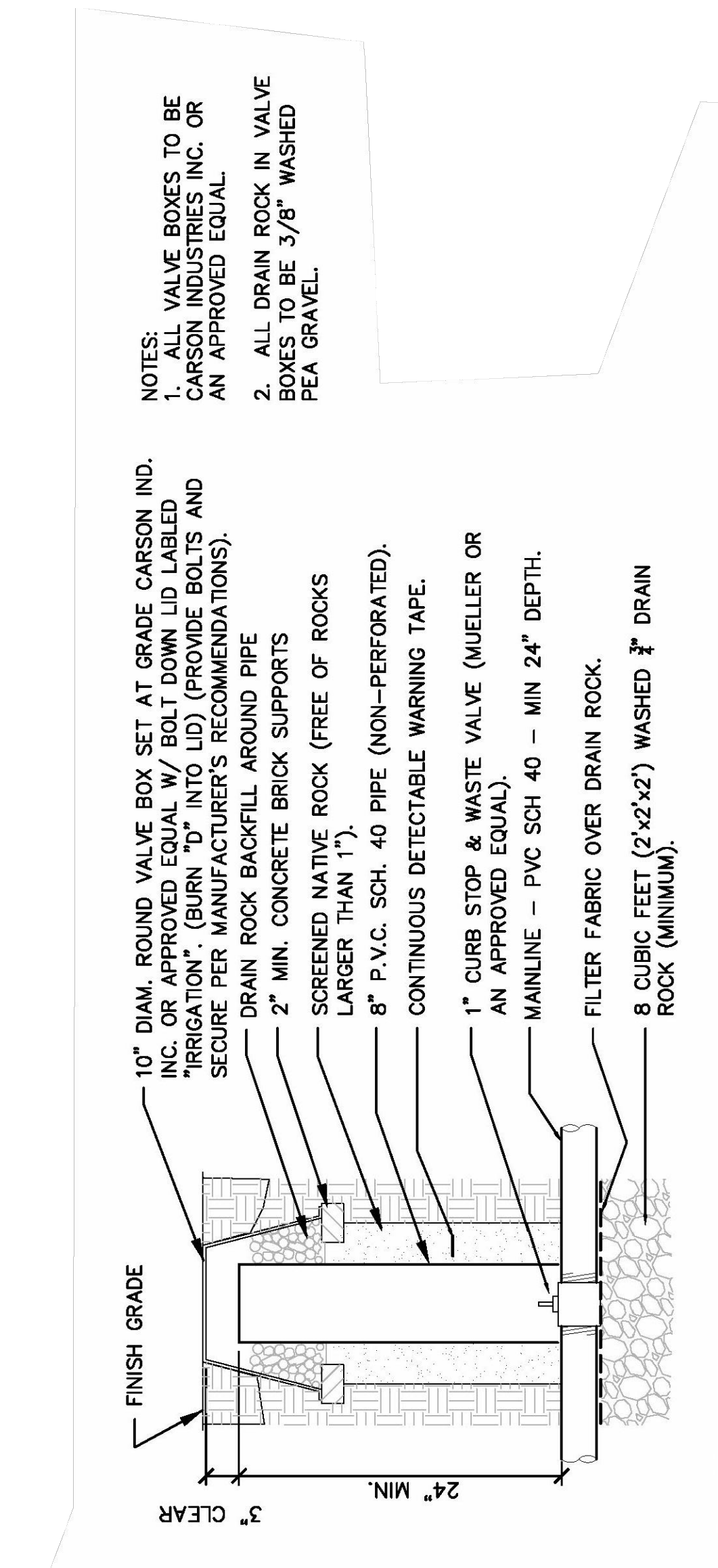
1" DRIP VALVE

1. STAKE LATERAL AND DISTRIBUTION TUBING IN PLACE AT SURFACE TO PREVENT SHIFTING.
2. ALL PLANTS LOCATED ON SLOPES SHALL HAVE EMITTERS PLACED UP HILL FROM PLANT.
3. DO NOT WRAP DISTRIBUTION TUBING AROUND PLANT STEM OR TREE TRUNK.
4. DO NOT PLACE EMITTERS AGAINST PLANT STEM OR TREE TRUNK.
5. CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE PROPER SLOPE AND DURATIONS.
6. CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE PROPER SLOPE AND DURATIONS.
7. CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE PROPER SLOPE AND DURATIONS.
8. EMITTER (GPA) WATER RATE MAY BE ALTERED DUE TO SOIL TYPE AND SOIL DRAINAGE CHARACTERISTICS.



DRIP EMITTER

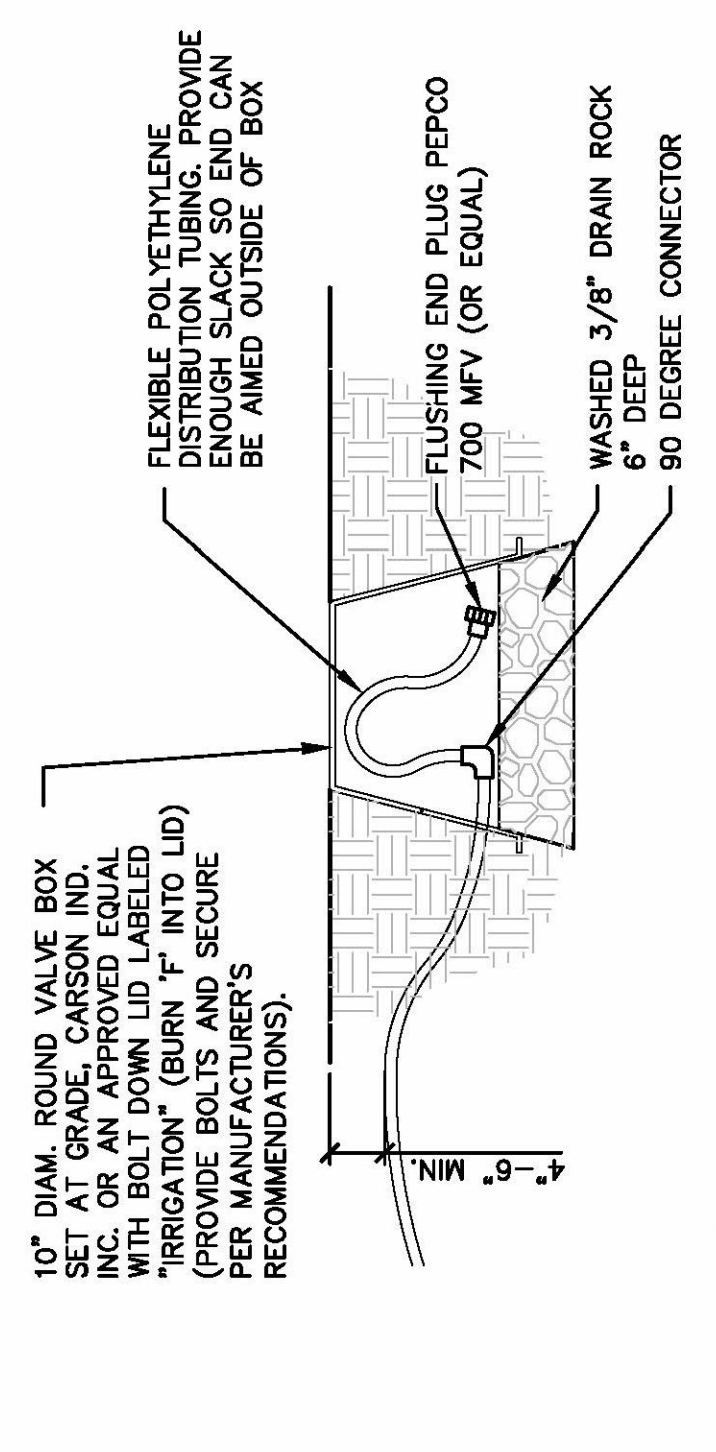
NOTE: GALLONAGE PER IRRIGATION



CURB STOP & WASTE

- 1 FINISH GRADE/TOP OF MULCH
- 2 JUMBO VALVE BOX WITH COVER: RAIN BIRD VB-JUMBO
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1 1/2" PEB VALVE (INCLUDED IN XCZ-150-LCS KIT)
- 6 1 1/2" FILTER - RAIN BIRD LARGE CAPACITY SCREEN FILTER (INCLUDED IN XCZ-150-LCS KIT)
- 7 1 1/2" HIGH FLOW PRESSURE REGULATOR (INCLUDED IN XCZ-150-LCS KIT)
- 8 LATERAL PIPE
- 9 PVC SCH 80 NIPPLE 1 1/2"
- 10 PVC SCH 40 ELL
- 11 PVC SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND PVC 40 ELL
- 12 PVC SCH 40 TEE OR ELL
- 13 MAINLINE PIPE
- 14 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

1.5" DRIP VALVE



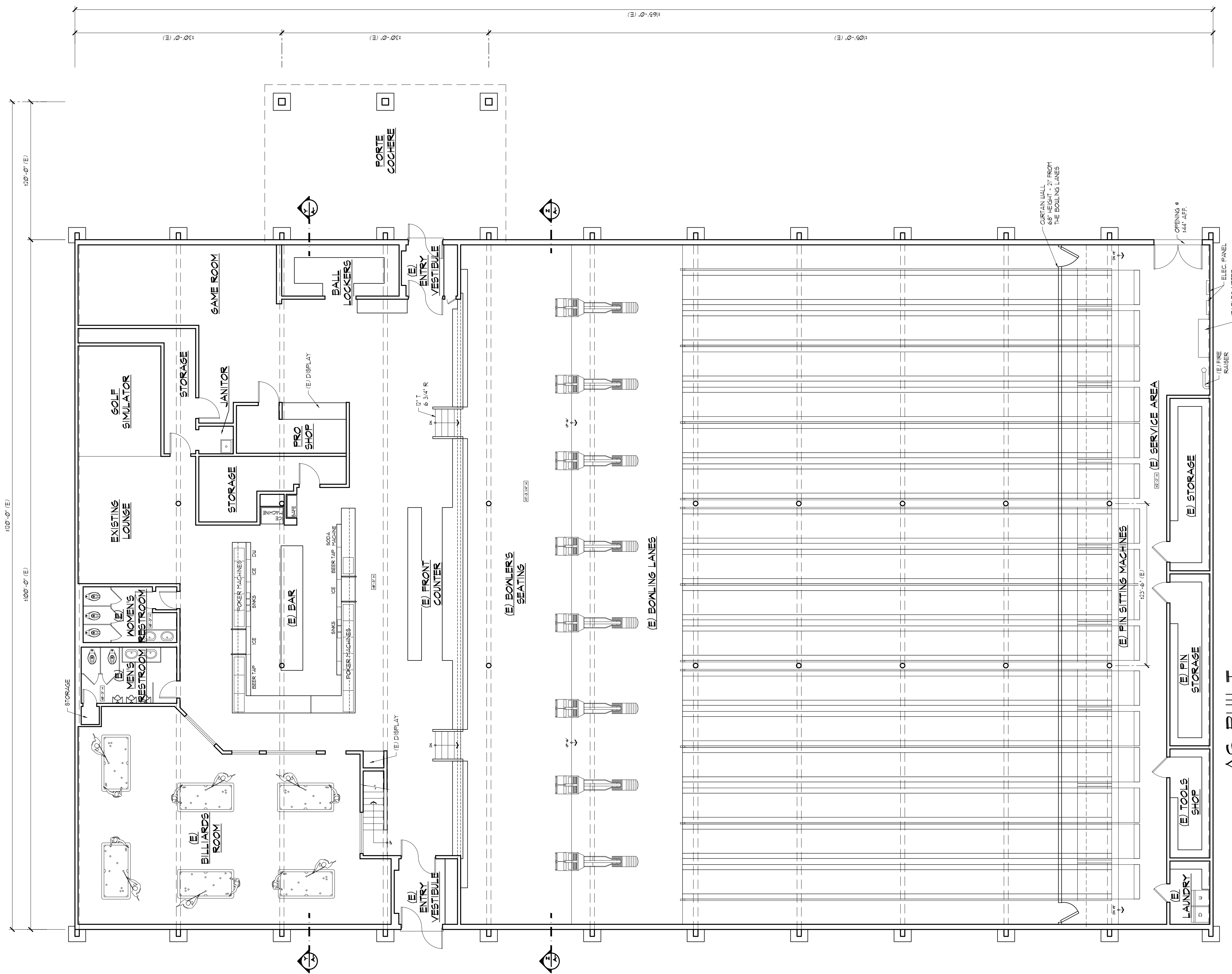
1. ALL VALVE BOXES TO BE CARSON INDUSTRIES INC. OR AN APPROVED EQUAL
2. ALL DRAIN ROCK IN VALVE BOXES TO BE 3/8" CLEAN WASHED PEA GRAVEL

FLUSHING END CAP

IRRIGATION DETAILS	
REVISIONS	

BOWL INCLINE
 RENOVATION/REMODEL
 920 Southwood Boulevard
 Incline Village
 Washoe County, Nevada

DENNIS E. ZIRBEL
 ARCHITECT
 A PROFESSIONAL CORPORATION
 P.O. Box 296 Truckee, CA 96160
 Telephone: 530.582.8979
 Fax: 530.582.8938
 www.zirbelarchitect.com



FLOOR AREA CALCULATION

EXISTING CONDITIONED AREA	16,500 SQ. FT.
ENTRY LEVEL	1,251 SQ. FT.
UPPER LEVEL	1,175 SQ. FT.
TOTAL EXISTING FLOOR AREA	18,926 SQ. FT.

AS-BUILT ENTRY LEVEL FLOOR PLAN

REVISIONS	

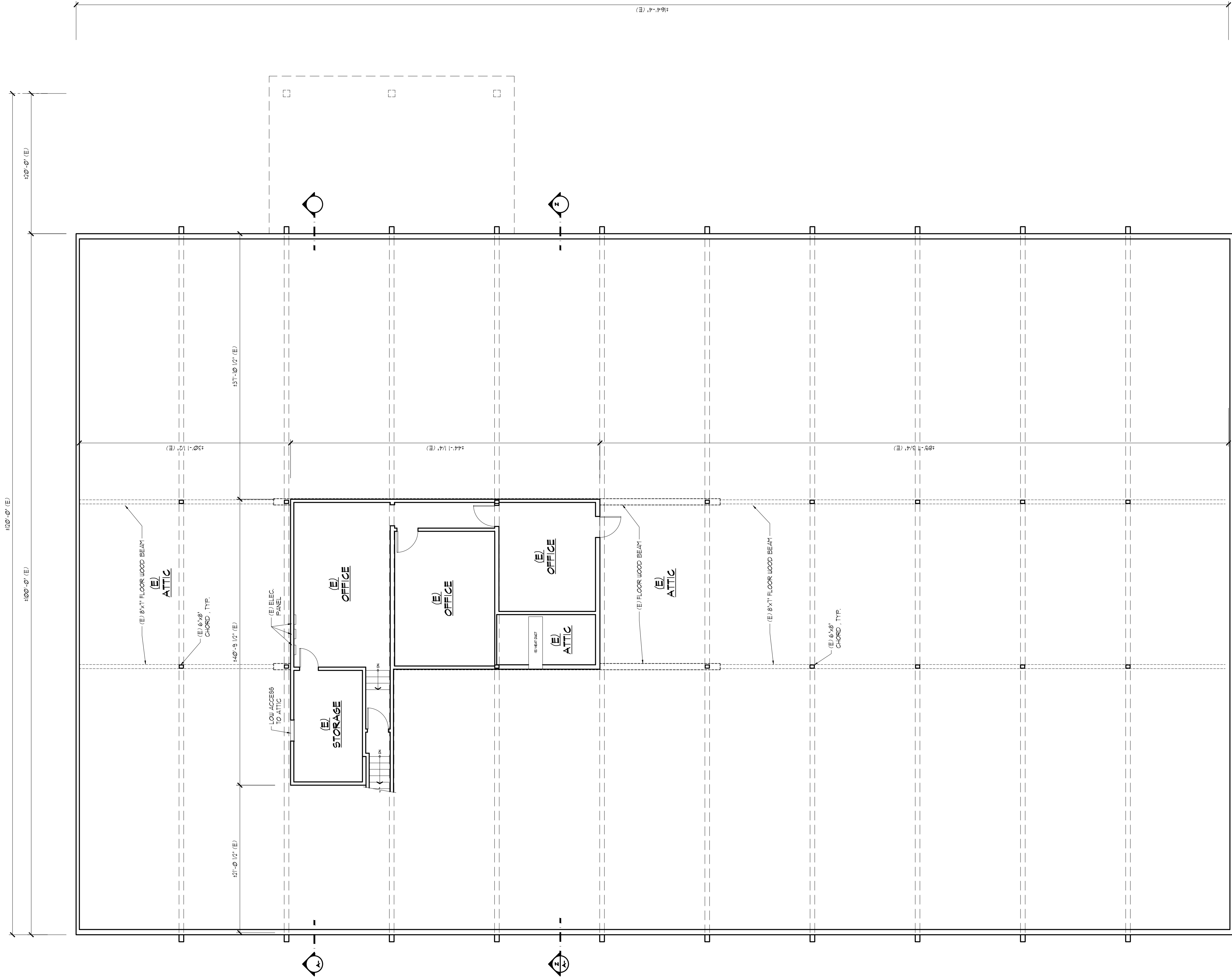
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DRAWN: DE	SHEET
DATE: 12/8/2020	AB-2
SCALE: 1/8"=1'-0"	JOB NO.: 2017

AS-BUILT
ENTRY LEVEL FLOOR PLAN
 SCALE: 1/8"=1'-0"

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AS-BUILT UPPER LEVEL
FLOOR PLAN

REVISIONS

BOWL INCLINE
RENOVATION/REMODEL

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Incline Village
Washoe County, Nevada

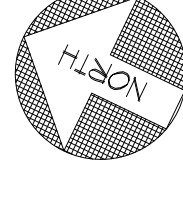
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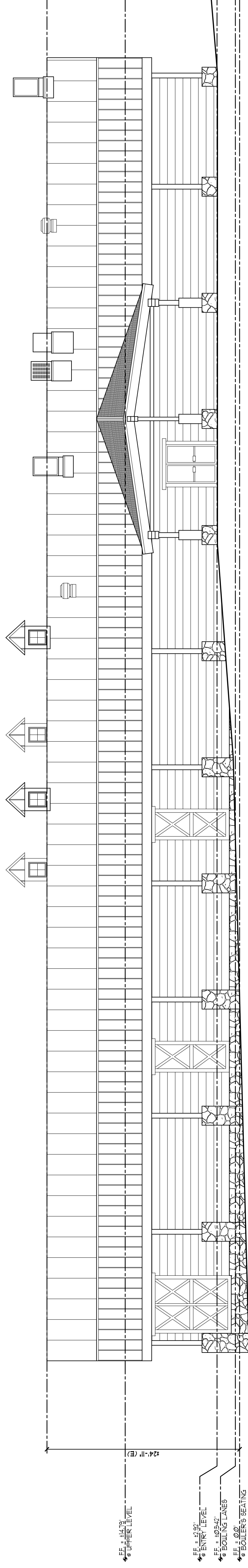
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DATE: 12/8/2020
SCALE: 1/8"=1'-0"
JOB NO.: 2017

SHEET
AB-3

AS-BUILT
UPPER LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0"

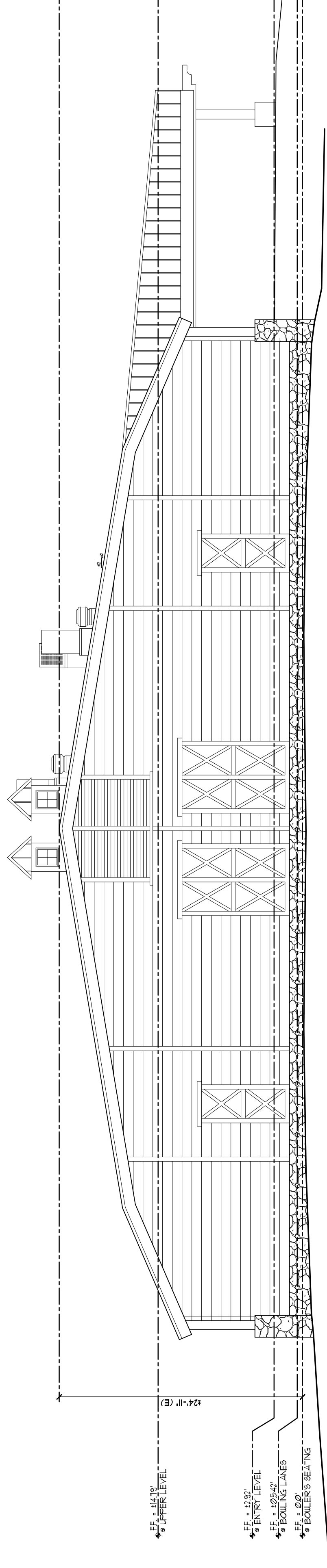


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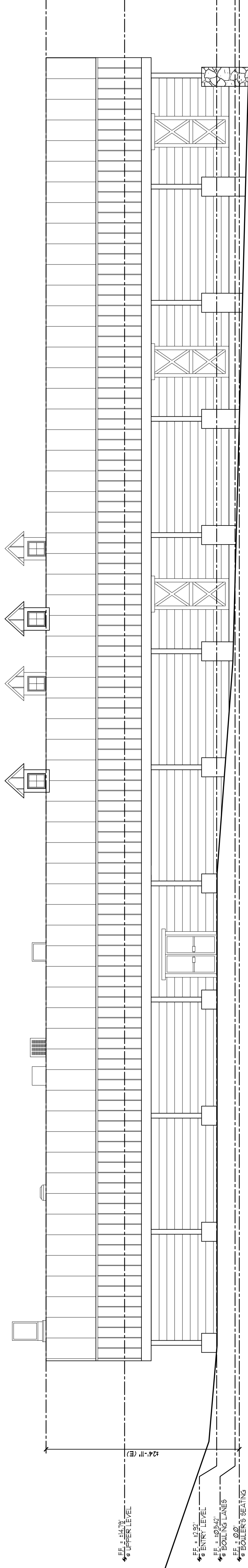
**AS-BUILT
EAST EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



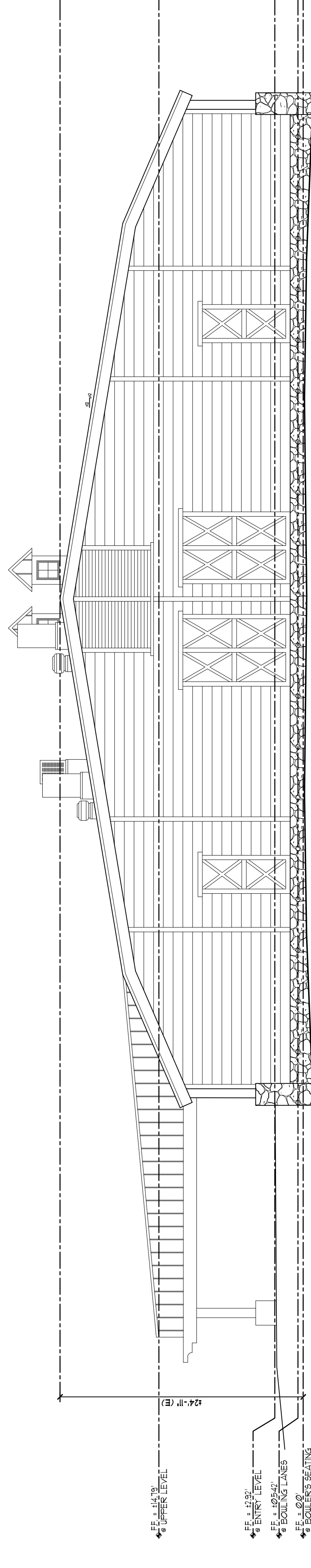
**AS-BUILT
SOUTH EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



**AS-BUILT
WEST EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"



**AS-BUILT
NORTH EXTERIOR ELEVATION**

SCALE: 1/8" = 1'-0"

AS-BUILT EXTERIOR
ELEVATIONS

REVISIONS

**BOWL INCLINE
RENOVATION/REMODEL**

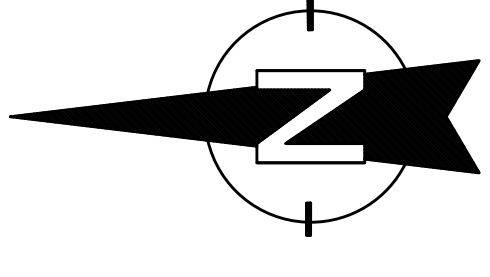
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Washoe County, Nevada

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ARCHITECT**

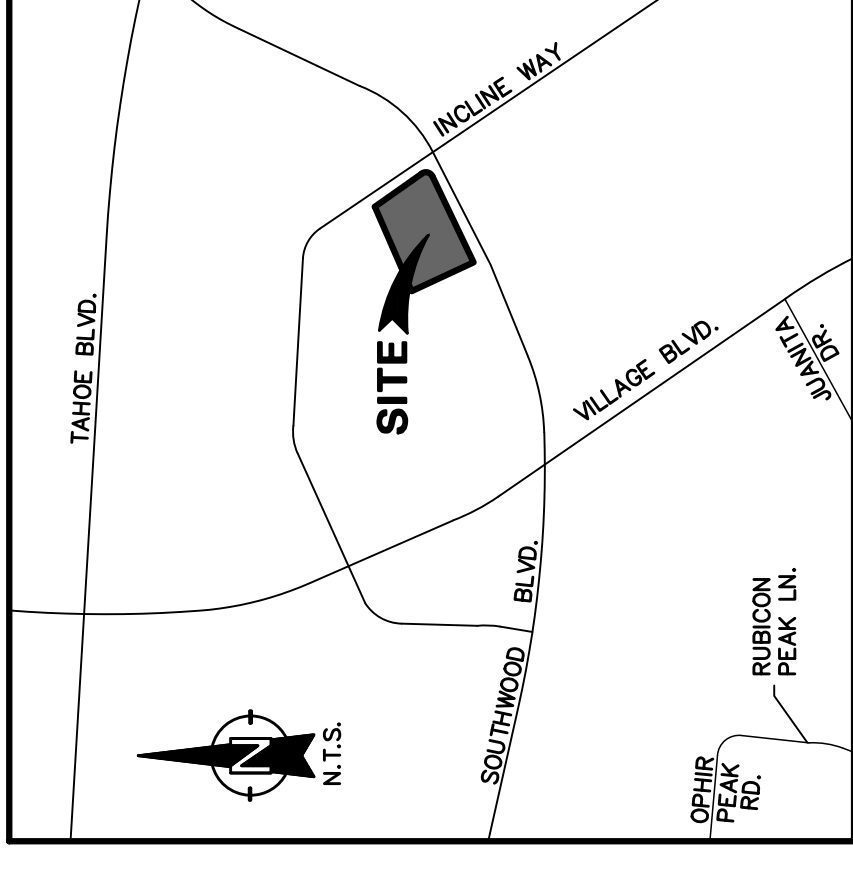
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www.zirbelarchitect.com

DRAWN: DE
DATE: 12/8/2010
SCALE: 1/8" = 1'-0"
JOB NO.: 2011

SHEET
AB-4



SCALE: 1"=20'



VICINITY MAP

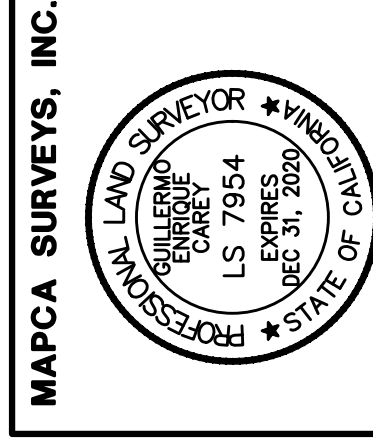
- LEGEND**
- f*o TREE (CONIFEROUS)
 - o NOTHING FOUND/ NOTHING SET
 - CB CATCH BASIN
 - CL CENTERLINE
 - COL COLLECTOR
 - DI DRAIN
 - DL DRAIN INLET
 - EP EDGE OF PAVEMENT
 - FL FLOWLINE
 - GB GRADEBREAK
 - EPB ELECTRICAL PULL BOX
 - FL FIRE HYDRANT
 - FL FLOW LINE
 - IE INVERT ELEVATION
 - LUM LUMINAIRE
 - LUM LUMINAIRE
 - SDMH STORM DRAIN MANHOLE
 - SSCO SANITARY SEWER CLEANOUT
 - SSMH SANITARY SEWER MANHOLE
 - TBC TOP BACK OF CURB
 - TOP TOP OF SLOPE
 - TOP TOP OF SLOPE
 - WVA WATER VALVE
 - WVA WATER VALVE
 - WV WATER VALVE
 - WV WATER VALVE

APN: 132-232-08 WASHOE COUNTY
 SITE ADDRESS: 920 SOUTHWOOD BLVD.
 INCLINE VILLAGE, NEVADA 89451

HORIZONTAL DATUM:
 NEVADA STATE PLANE COORDINATE SYSTEM, NAD 83/94.
 NEST ZONE. GROUND DISTANCES
 VERTICAL DATUM:
 NAVD88

LAND COVERAGE VERIFICATION

VERIFIED CLASS	IB COVERAGE	SQ. FT.
BUILDING		16,710
TOTAL VERIFIED CLASS 1B COVERAGE		16,710
VERIFIED CLASS 4 COVERAGE		SQ. FT.
AC DRIVEWAY/PARKING AREA		22,286
TOTAL VERIFIED CLASS 6 COVERAGE		22,286
TOTAL PARCEL VERIFIED COVERAGE		38,996



DRAWN BY: VI
 CHECKED BY: BC
 SCALE: 1" = 20'
 C.I. = 1 FOOT
 DATE: OCTOBER 2020
 JOB NUMBER: 1401
 SHEET 1 OF 1
 DATE OF SURVEY: SEPTEMBER 2020

TOPOGRAPHIC SURVEY
BOWL INCLINE
LOTS 8 & 9
COMMERCIAL SUBDIVISION NO. 1
 SW 1/4 SECTION 15, T.16N., R.18E., M.D.B. & M

MAPCA SURVEYS, INC.
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